



R7a - Condo View Looking East

PROPOSED RESIDENTIAL DEVELOPMENT
APARTMENTS AND ATTACHED PARKING STRUCTURE
Vail, Colorado

November 28, 2016

WRIGHT HEEREMA | ARCHITECTS

140 S. Dearborn St. Suite 200
Chicago, Illinois 60603
312.913.1010 Fax 913.1917
www.wrightheeremearchitects.com



R7b - Condo View Looking East

PROPOSED RESIDENTIAL DEVELOPMENT
APARTMENTS AND ATTACHED PARKING STRUCTURE
Vail, Colorado

November 28, 2016

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R8a - Condo View Looking Southeast

November 28, 2016





R8b - Condo View Looking Southeast

November 28, 2016



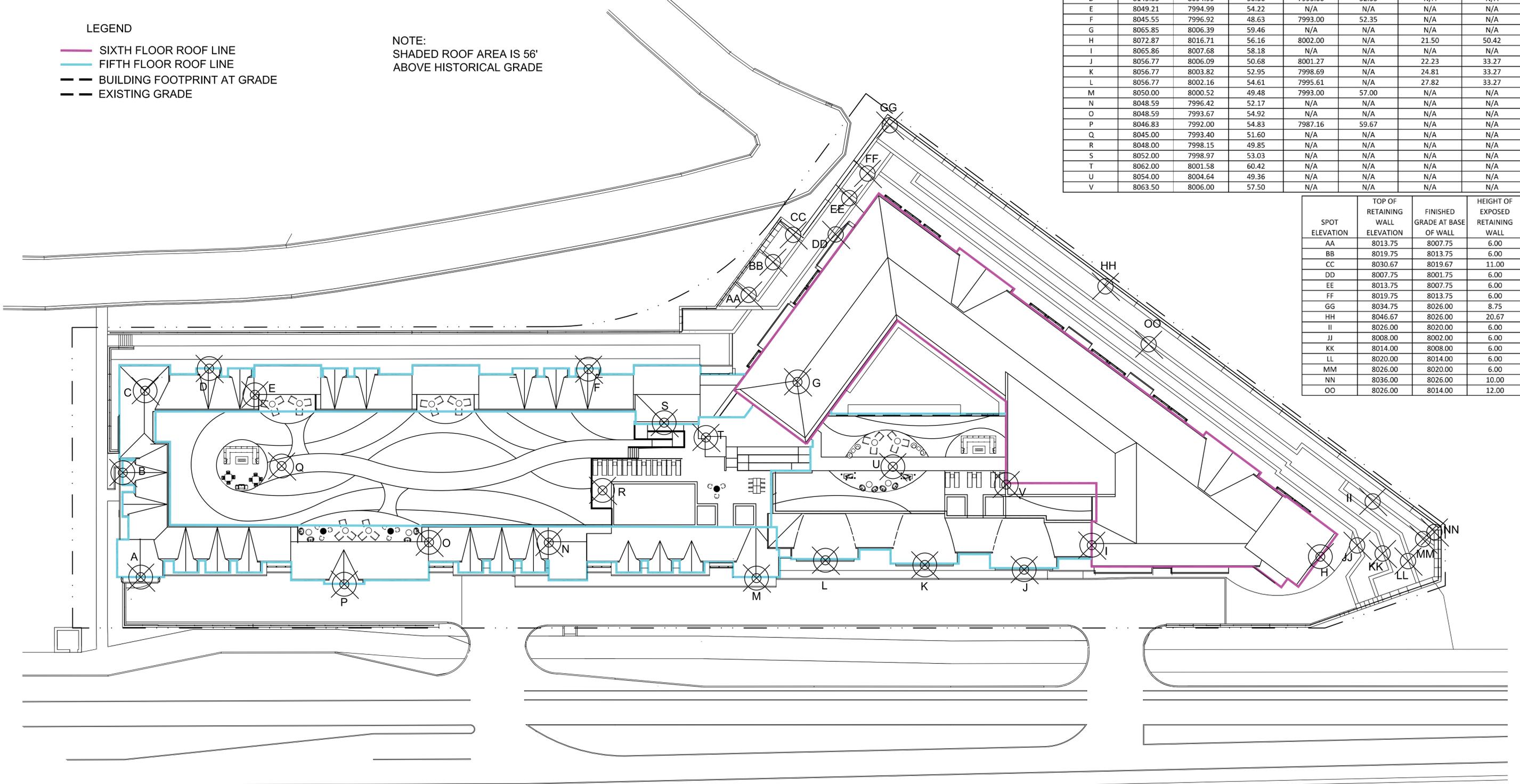
SPOT ELEVATION	ROOF ELEVATION	EXISTING GRADE	HEIGHT ABOVE EXISTING GRADE	FINISHED GRADE	HEIGHT ABOVE FINISHED GRADE	HEIGHT ABOVE FINISHED GRADE TO MID ROOF	HEIGHT ABOVE MID ROOF TO STEPPED BACK FACADE
A	8050.00	7991.56	58.44	7980.58	N/A	37.00	32.42
B	8145.36	8093.20	52.16	7992.96	52.39	N/A	N/A
C	8047.73	7994.87	52.86	N/A	N/A	N/A	N/A
D	8145.35	8094.99	50.36	7993.00	52.35	N/A	N/A
E	8049.21	7994.99	54.22	N/A	N/A	N/A	N/A
F	8045.55	7996.92	48.63	7993.00	52.35	N/A	N/A
G	8065.85	8006.39	59.46	N/A	N/A	N/A	N/A
H	8072.87	8016.71	56.16	8002.00	N/A	21.50	50.42
I	8065.86	8007.68	58.18	N/A	N/A	N/A	N/A
J	8056.77	8006.09	50.68	8001.27	N/A	22.23	33.27
K	8056.77	8003.82	52.95	7998.69	N/A	24.81	33.27
L	8056.77	8002.16	54.61	7995.61	N/A	27.82	33.27
M	8050.00	8000.52	49.48	7993.00	57.00	N/A	N/A
N	8048.59	7996.42	52.17	N/A	N/A	N/A	N/A
O	8048.59	7993.67	54.92	N/A	N/A	N/A	N/A
P	8046.83	7992.00	54.83	7987.16	59.67	N/A	N/A
Q	8045.00	7993.40	51.60	N/A	N/A	N/A	N/A
R	8048.00	7998.15	49.85	N/A	N/A	N/A	N/A
S	8052.00	7998.97	53.03	N/A	N/A	N/A	N/A
T	8062.00	8001.58	60.42	N/A	N/A	N/A	N/A
U	8054.00	8004.64	49.36	N/A	N/A	N/A	N/A
V	8063.50	8006.00	57.50	N/A	N/A	N/A	N/A

SPOT ELEVATION	TOP OF RETAINING WALL ELEVATION	FINISHED GRADE AT BASE OF WALL	HEIGHT OF EXPOSED RETAINING WALL
AA	8013.75	8007.75	6.00
BB	8019.75	8013.75	6.00
CC	8030.67	8019.67	11.00
DD	8007.75	8001.75	6.00
EE	8013.75	8007.75	6.00
FF	8019.75	8013.75	6.00
GG	8034.75	8026.00	8.75
HH	8046.67	8026.00	20.67
II	8026.00	8020.00	6.00
JJ	8008.00	8002.00	6.00
KK	8014.00	8008.00	6.00
LL	8020.00	8014.00	6.00
MM	8026.00	8020.00	6.00
NN	8036.00	8026.00	10.00
OO	8026.00	8014.00	12.00

NOTE:
SHADED ROOF AREA IS 56'
ABOVE HISTORICAL GRADE

LEGEND

- SIXTH FLOOR ROOF LINE
- FIFTH FLOOR ROOF LINE
- BUILDING FOOTPRINT AT GRADE
- EXISTING GRADE

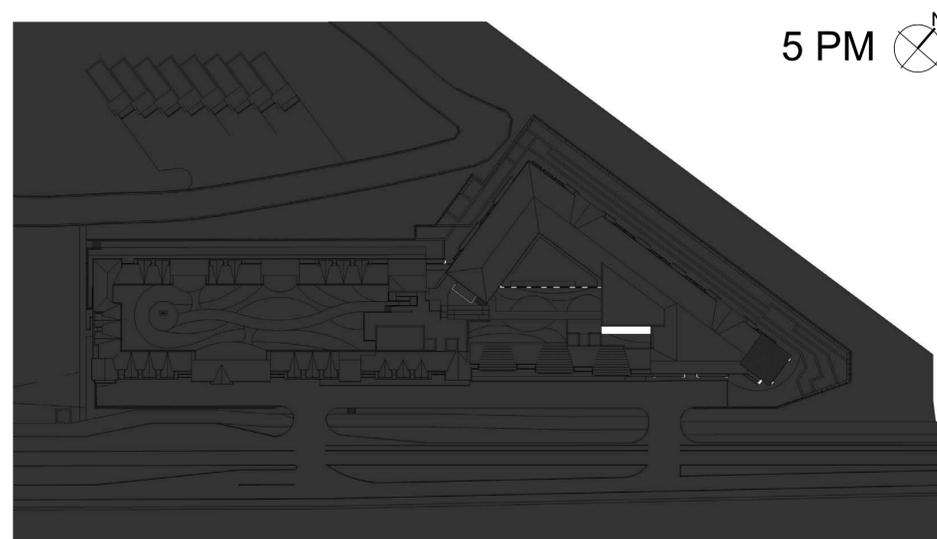
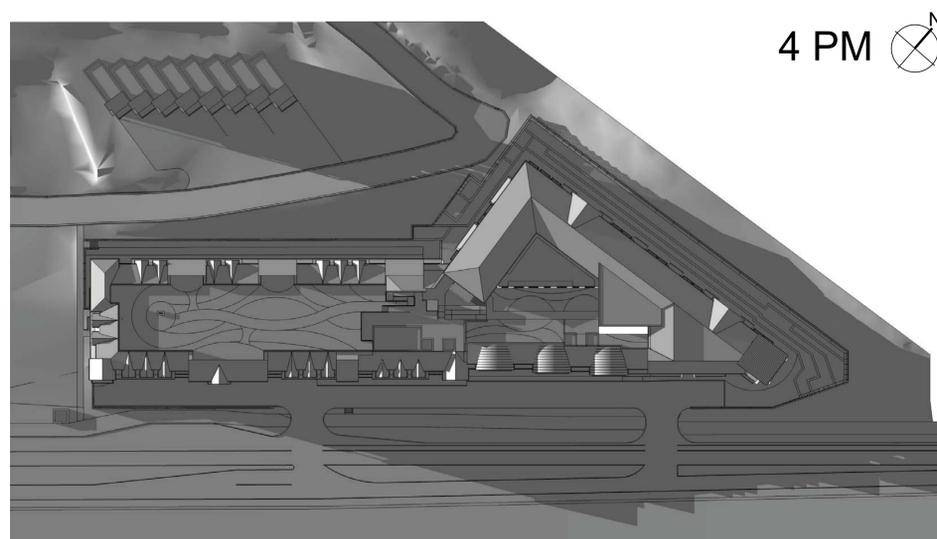
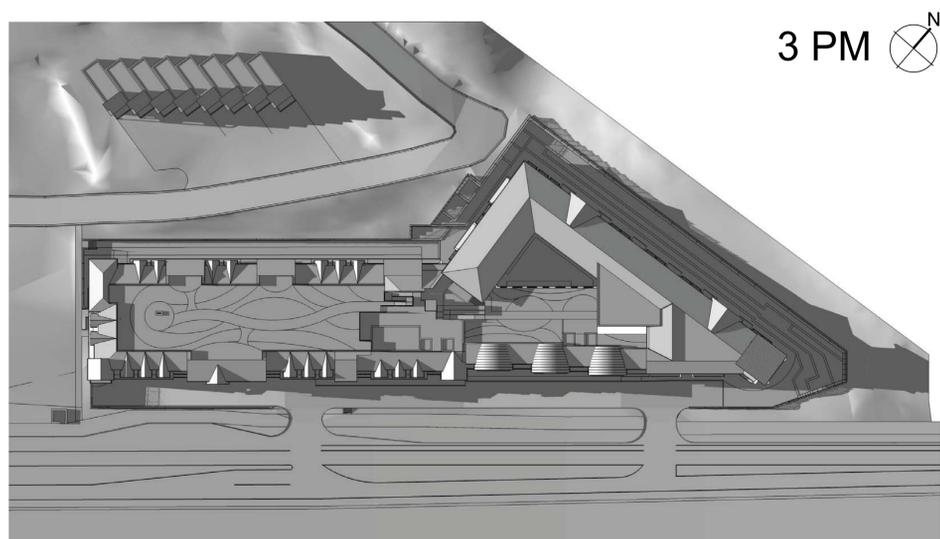
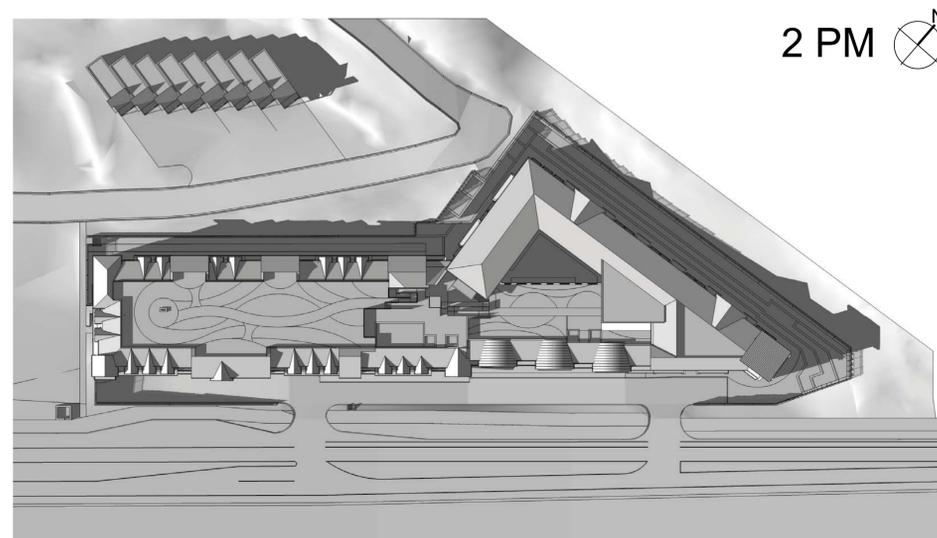
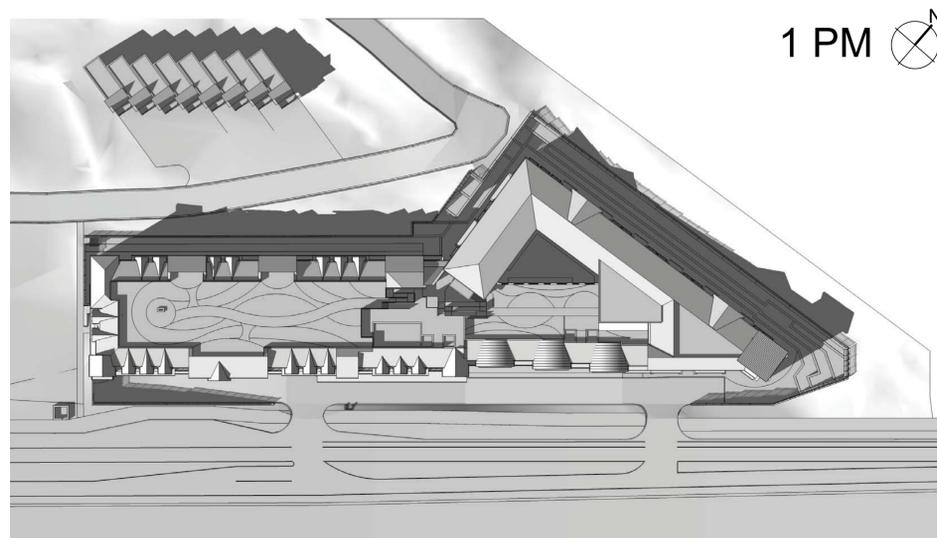
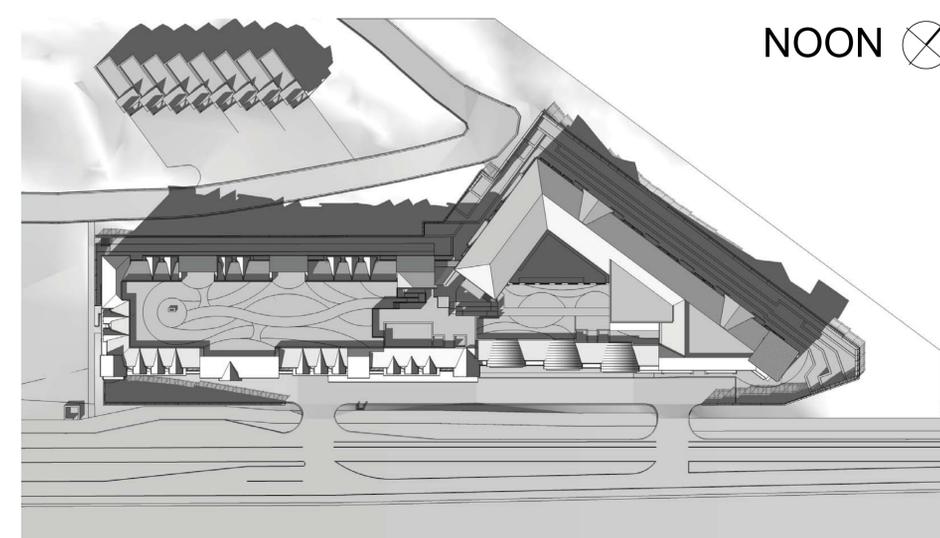
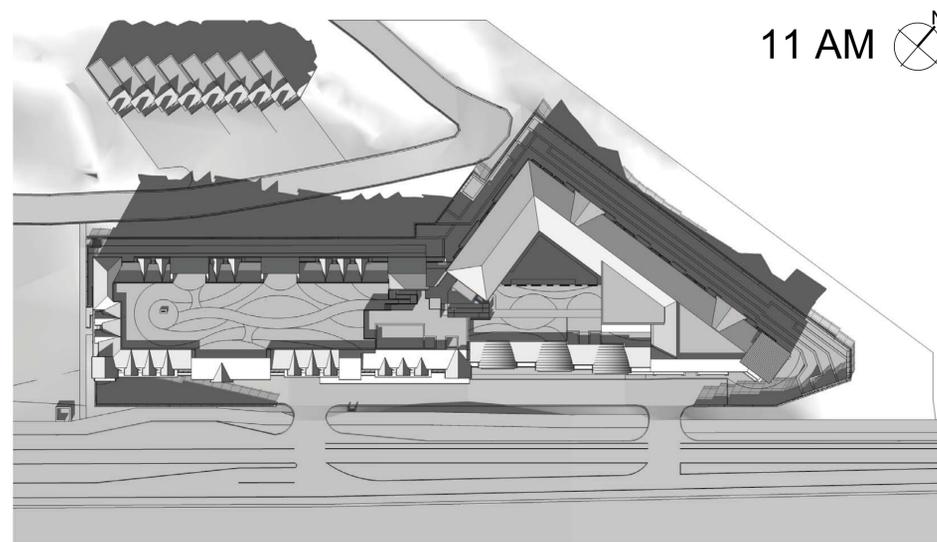
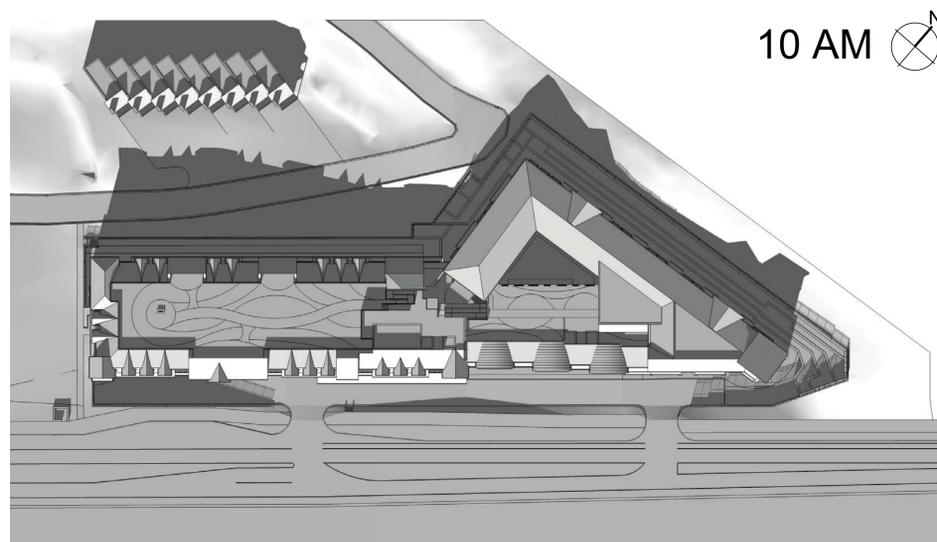
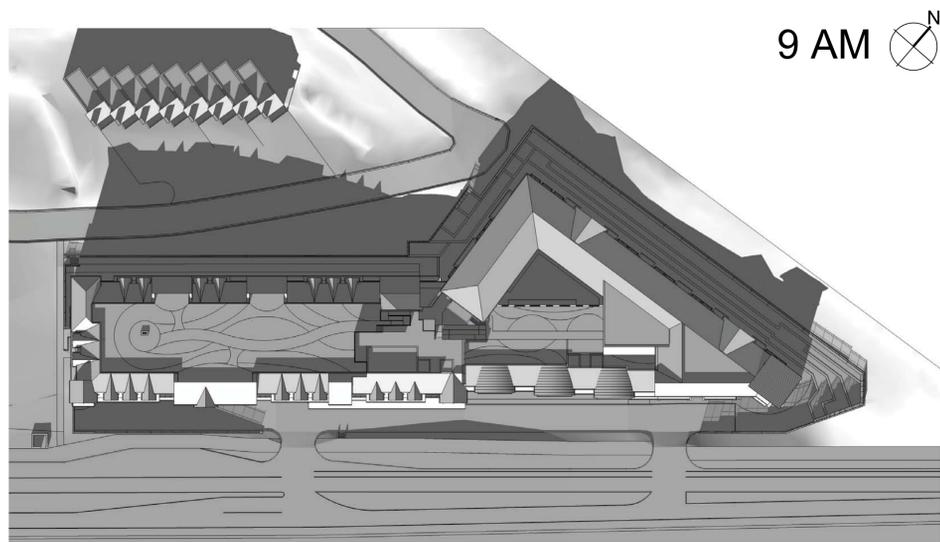


1 SITE ROOF ELEVATION PLAN

Scale: 1" = 20'-0"

R9 - Grade Elevation Plan

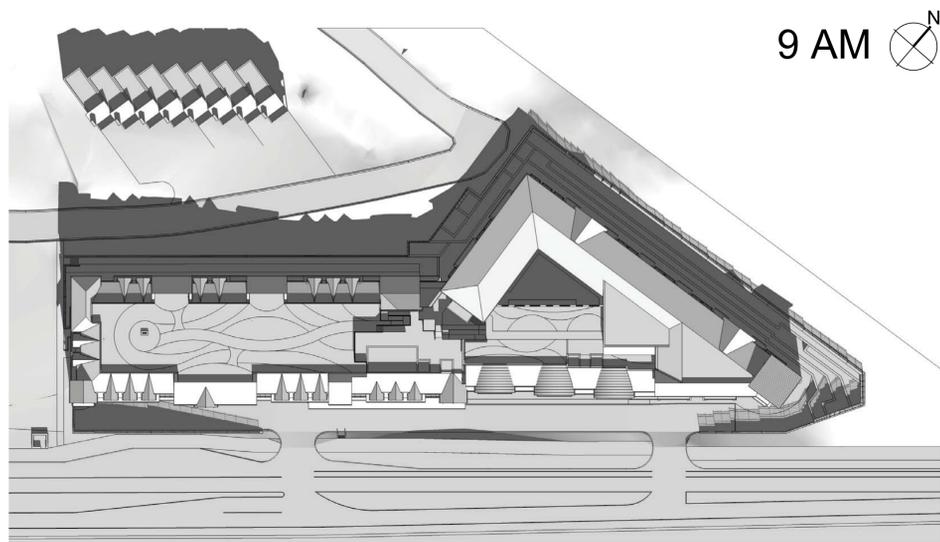
November 28, 2016



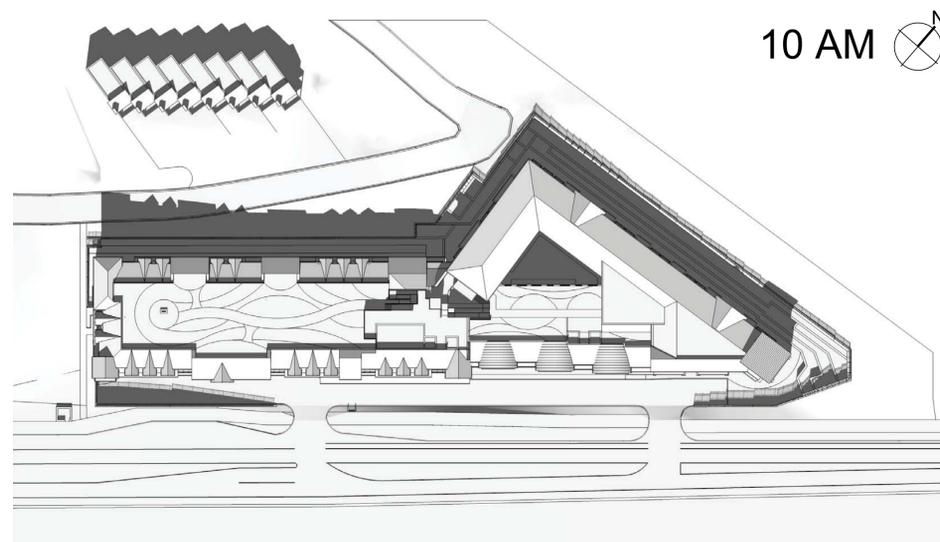
R10a - Shade - Sun Study - Winter Solstice - DECEMBER 22

November 28, 2016

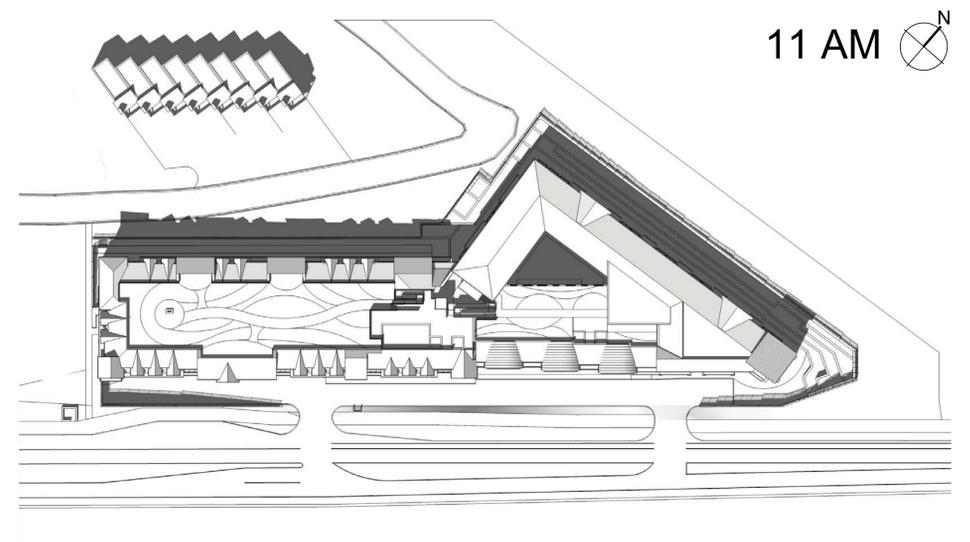




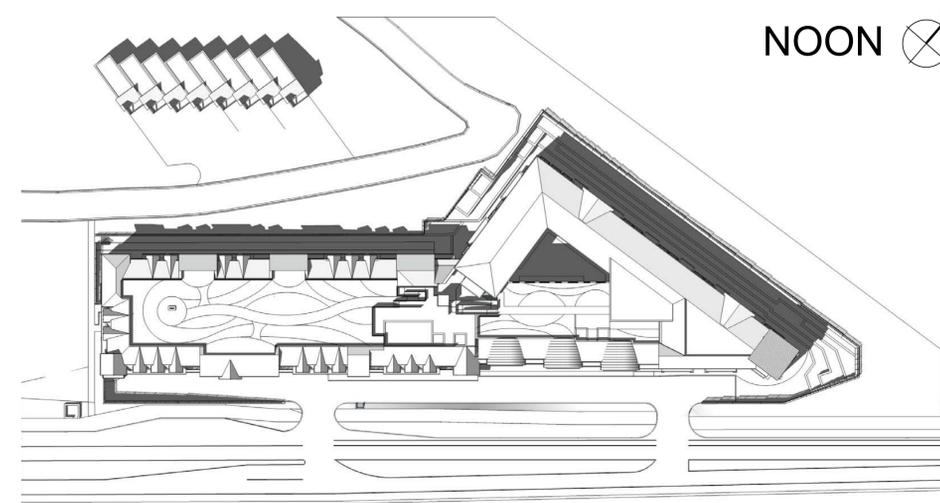
9 AM



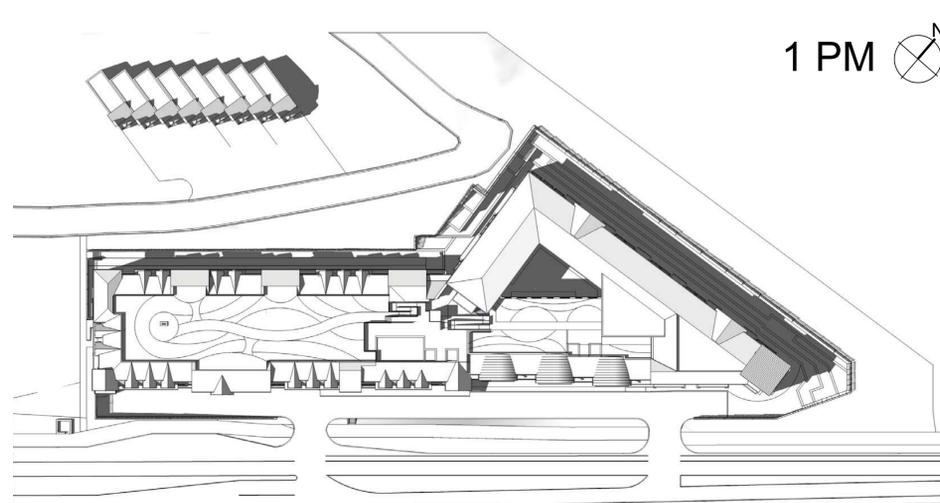
10 AM



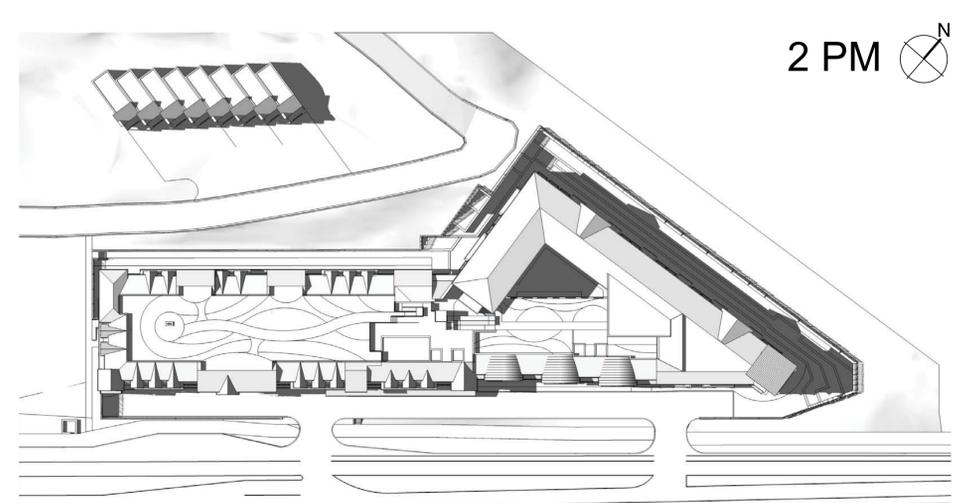
11 AM



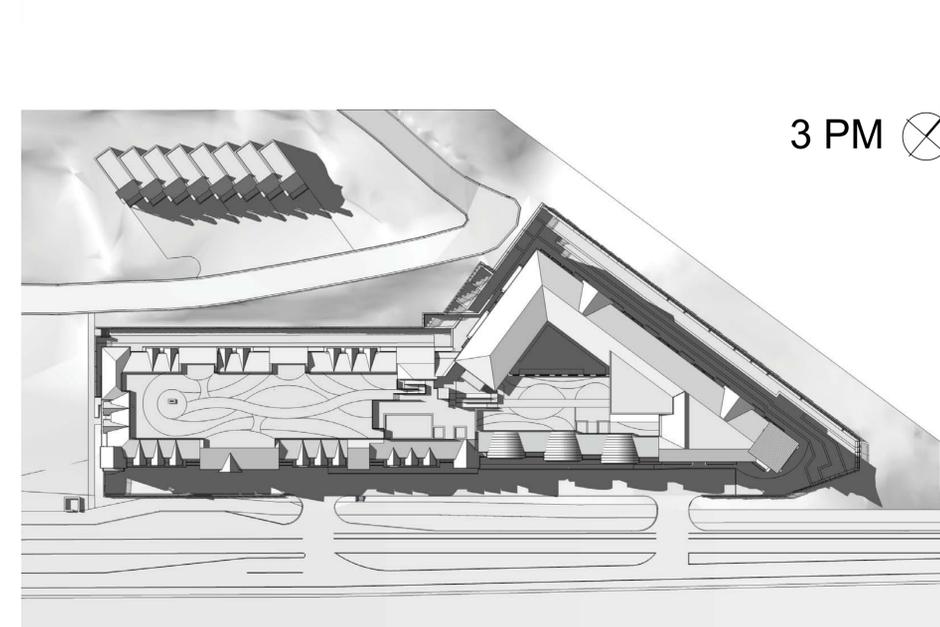
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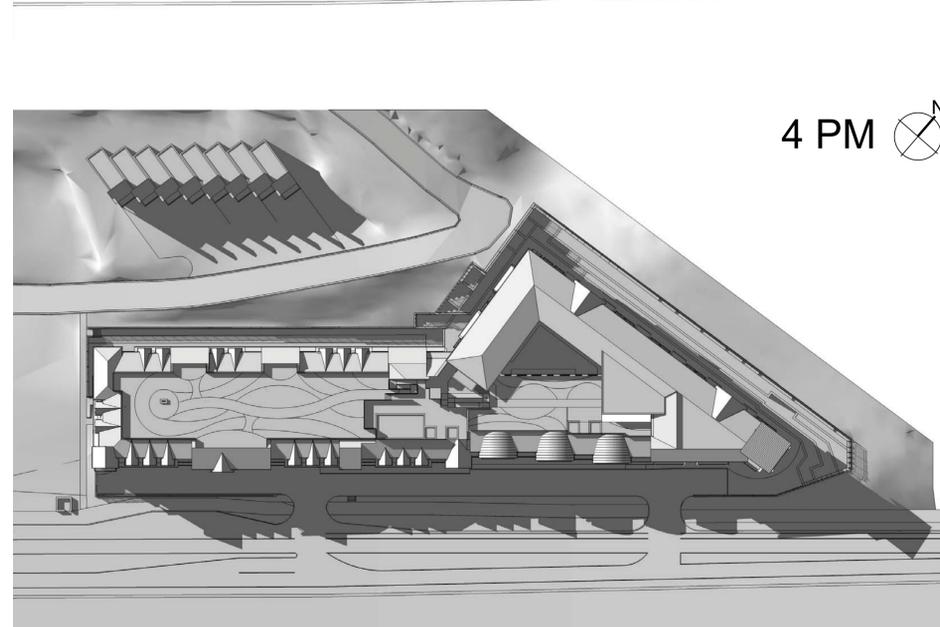
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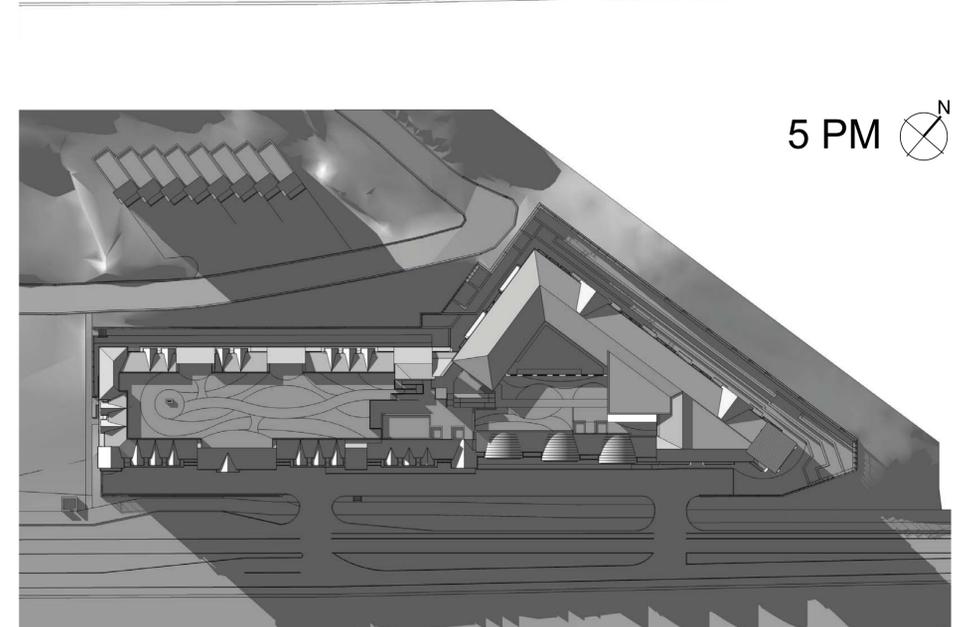
2 PM



3 PM



4 PM

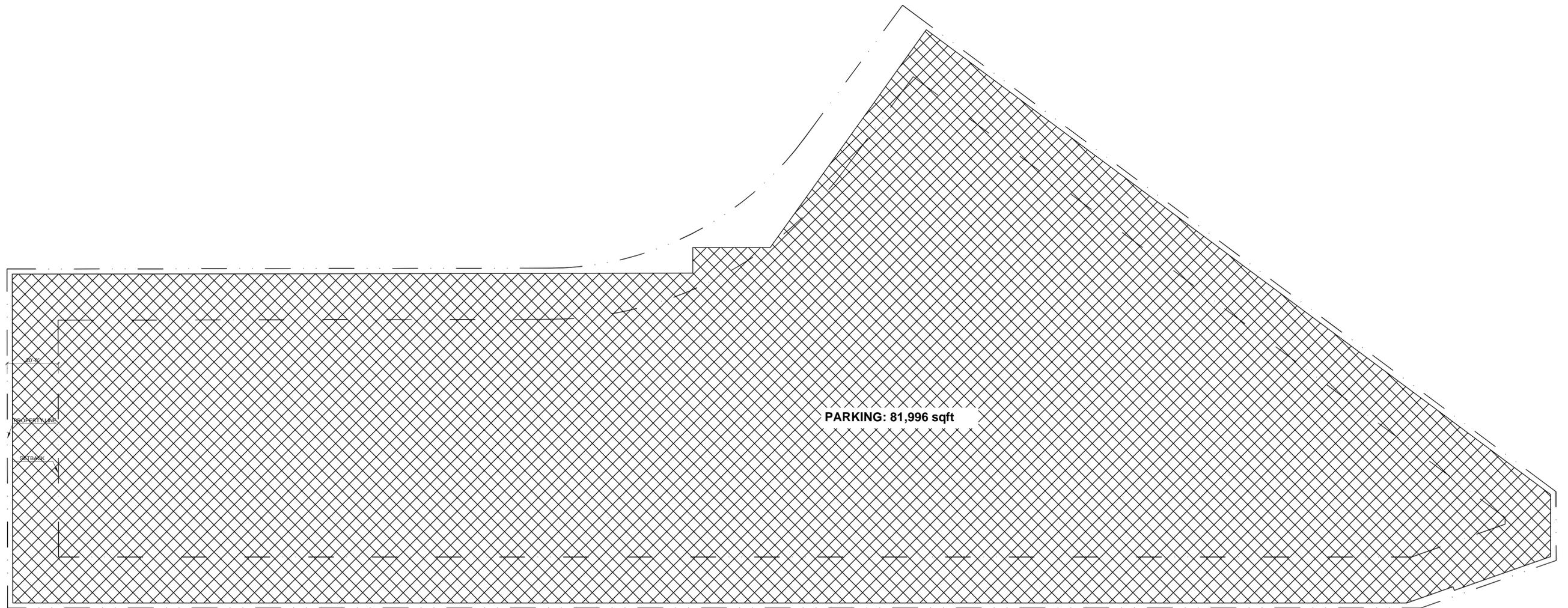


5 PM

R10b - Shade - Sun Study - Spring/Vernal Equinox - MARCH 20

November 28, 2016





1

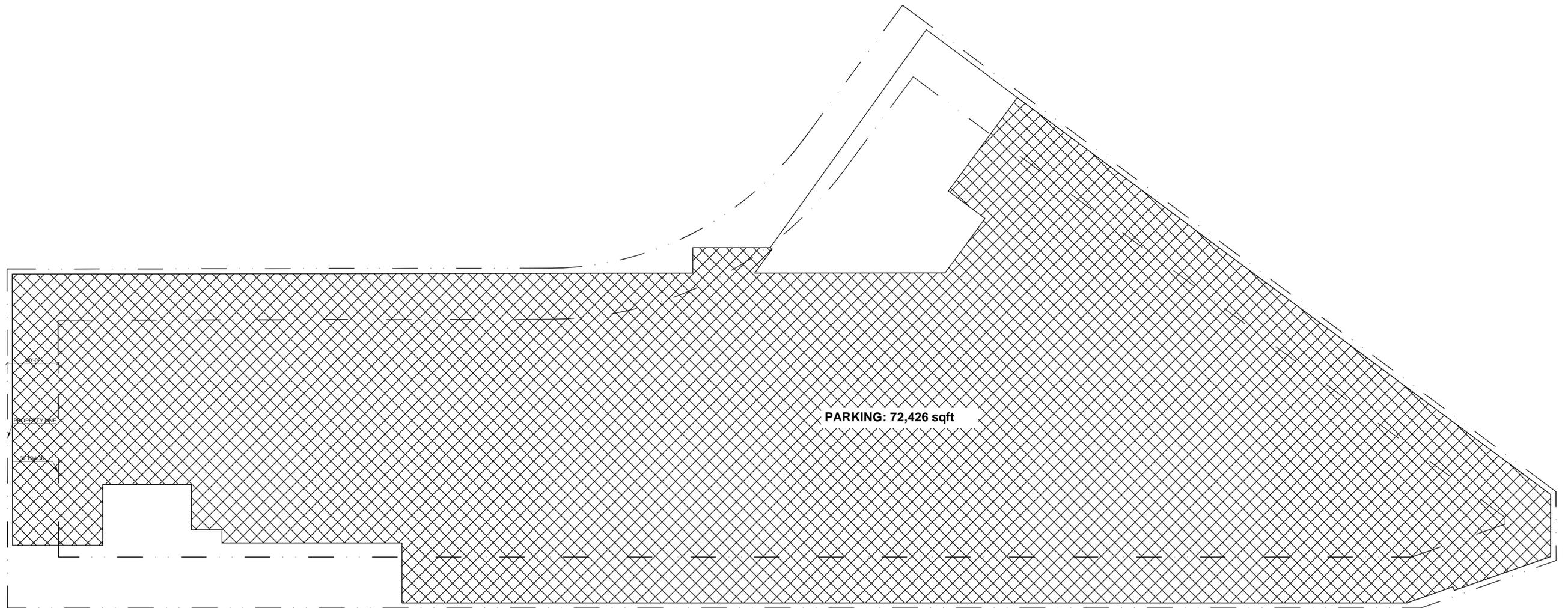
LL-2 GARAGE FLOOR PLAN

Scale: 1" = 20'-0"

R11 - Area Plan - Lower Level 2

November 28, 2016





1

LL-1 GARAGE FLOOR PLAN

Scale: 1" = 20'-0"

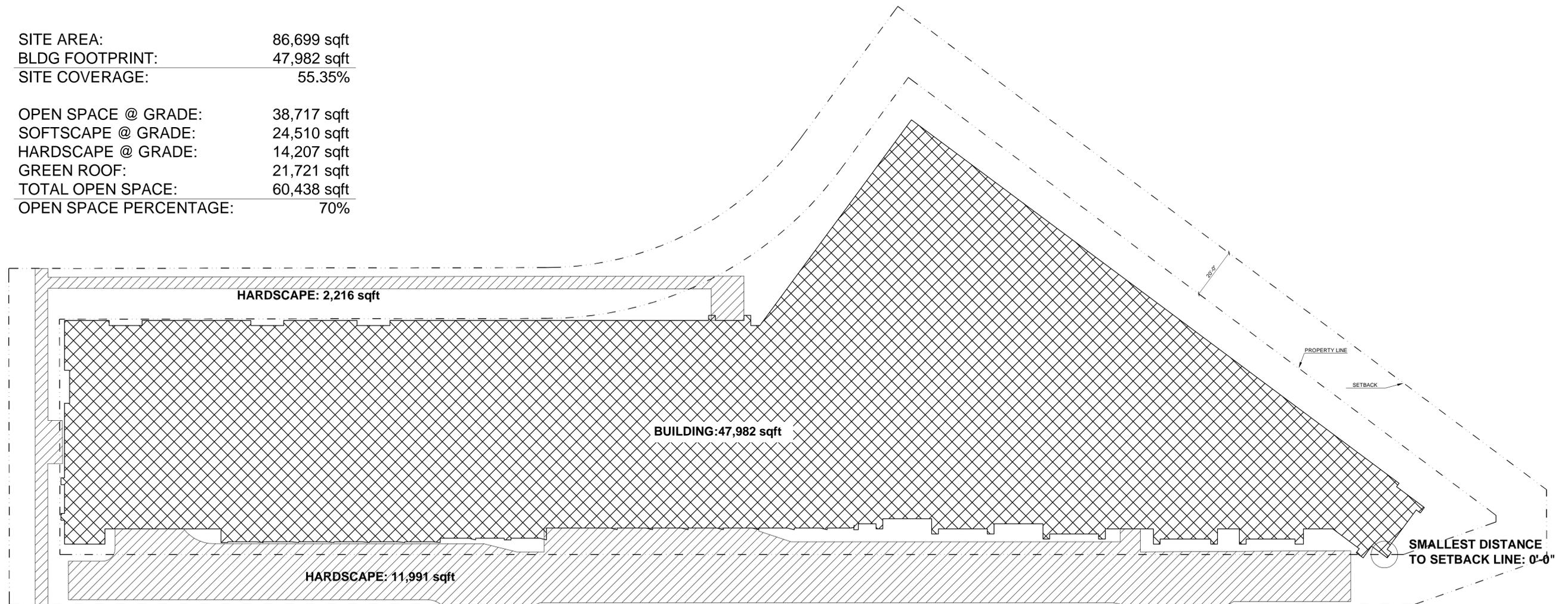
R12 - Area Plan - Lower Level 1

November 28, 2016



SITE AREA: 86,699 sqft
 BLDG FOOTPRINT: 47,982 sqft
 SITE COVERAGE: 55.35%

OPEN SPACE @ GRADE: 38,717 sqft
 SOFTSCAPE @ GRADE: 24,510 sqft
 HARDSCAPE @ GRADE: 14,207 sqft
 GREEN ROOF: 21,721 sqft
 TOTAL OPEN SPACE: 60,438 sqft
 OPEN SPACE PERCENTAGE: 70%



1 1ST FLOOR PLAN

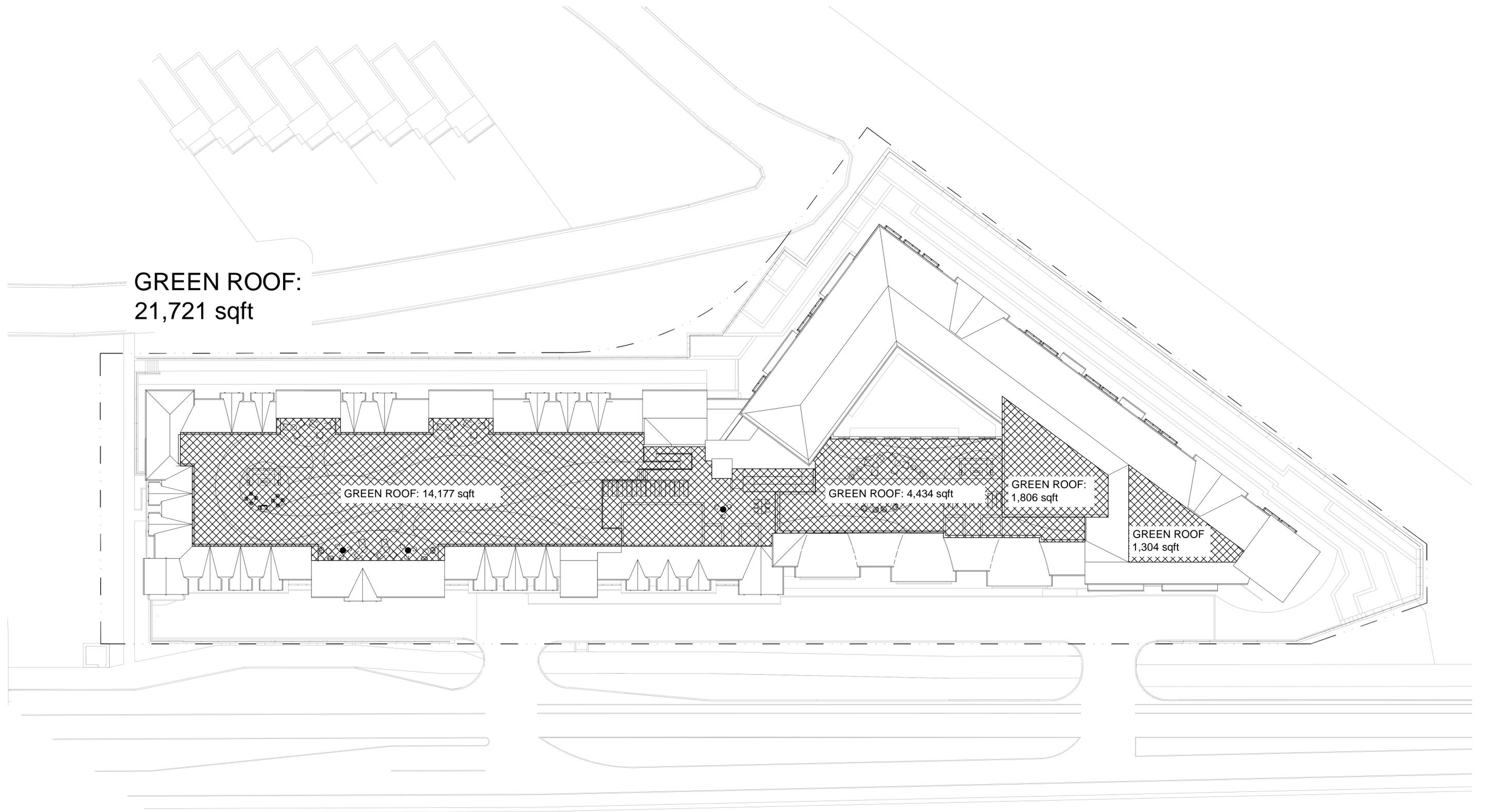
Scale: 1" = 20'-0"

R13 - Area Plan - Site Plan

November 28, 2016



GREEN ROOF:
21,721 sqft



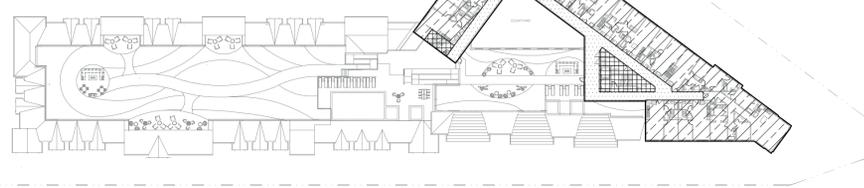
1 ROOF PLAN

Scale: 1" = 20'-0"

R14 - Area Plan - Roof Plan

November 28, 2016

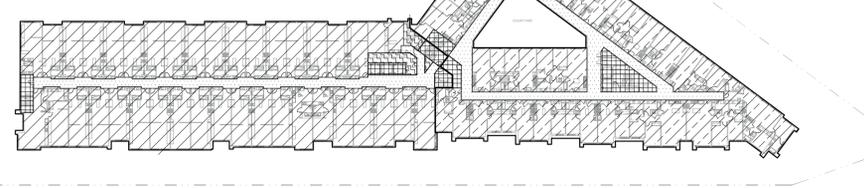
TOTAL AREA: 13,490 SF



APARMENTS - 6TH FLOOR

APARTMENTS:	10,267 SQ.FT.
CIRCULATION APARTMENTS:	2,366 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	857 SQ.FT.
TOTAL APARTMENT AREA:	13,490 SQ.FT.
GREEN ROOF:	4,434 SQ.FT.

TOTAL AREA: 46,270 SF



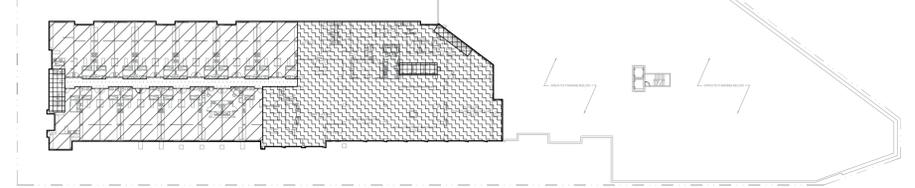
HOTEL - 4TH FLOOR

GUEST ROOMS:	21,376 SQ.FT.
AMENITIES AND SERVICES:	495 SQ.FT.
CIRCULATION:	2,012 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	627 SQ.FT.
TOTAL HOTEL AREA:	24,510 SQ.FT.

APARMENTS - 3TH FLOOR

APARTMENTS:	18,647 SQ.FT.
CIRCULATION APARTMENTS:	1,002 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	2,111 SQ.FT.
TOTAL APARTMENT AREA	21,760 SQ.FT.

TOTAL AREA - 24,745 SF



HOTEL - 1ST FLOOR

GUEST ROOMS:	11,782 SQ.FT.
AMENITIES AND SERVICES:	11,270 SQ.FT.
CIRCULATION:	990 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	703 SQ.FT.
TOTAL HOTEL AREA:	24,745 SQ.FT.

TOTAL AREA: 21,894 SF



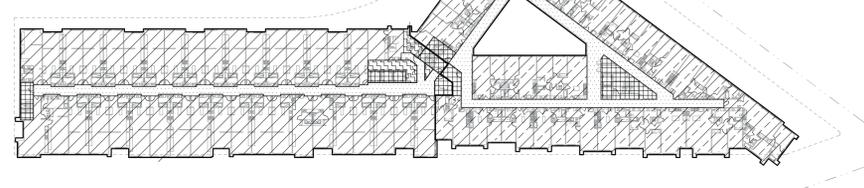
HOTEL - POOL DECK

CIRCULATION:	475 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	302 SQ.FT.
TOTAL HOTEL AREA:	777 SQ.FT.
GREEN ROOF:	14,177 SQ.FT.

APARMENTS - 5TH FLOOR

APARTMENTS:	17,013 SQ.FT.
CIRCULATION APARTMENTS:	3,076 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	1,028 SQ.FT.
TOTAL APARTMENT AREA	21,117 SQ.FT.

TOTAL AREA: 46,270 SF



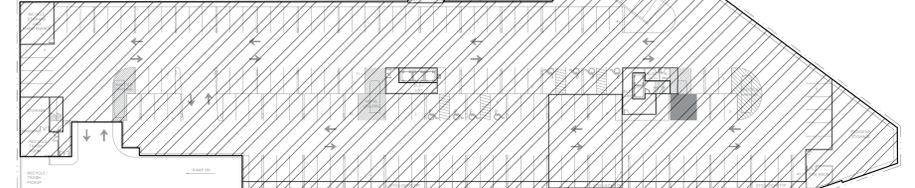
HOTEL - 3RD FLOOR

GUEST ROOMS:	21,376 SQ.FT.
AMENITIES AND SERVICES:	495 SQ.FT.
CIRCULATION:	2,012 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	627 SQ.FT.
TOTAL HOTEL AREA:	24,510 SQ.FT.

APARMENTS - 2ND FLOOR

APARTMENTS:	19,645 SQ.FT.
CIRCULATION APARTMENTS:	1,002 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	2,111 SQ.FT.
TOTAL APARTMENT AREA	21,760 SQ.FT.

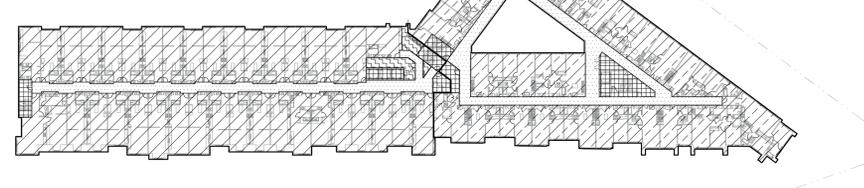
TOTAL AREA - 72,426 SF



LOWER LEVEL 1

PARKING:	72,426 SQ.FT.
----------	---------------

TOTAL AREA: 45,871 SF



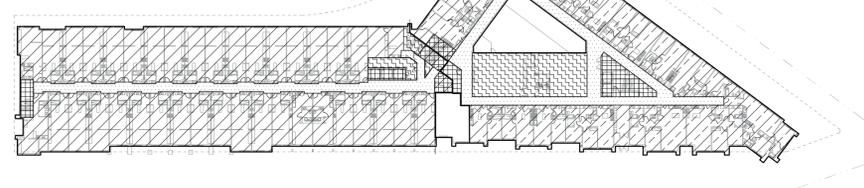
HOTEL - 5TH FLOOR

GUEST ROOMS:	21,338 SQ.FT.
AMENITIES AND SERVICES:	495 SQ.FT.
CIRCULATION:	2,012 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	627 SQ.FT.
TOTAL HOTEL AREA:	24,472 SQ.FT.

APARMENTS - 4TH FLOOR

APARTMENTS:	17,295 SQ.FT.
CIRCULATION:	3,076 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	1,028 SQ.FT.
TOTAL APARTMENT AREA	21,399 SQ.FT.

TOTAL AREA: 44,881 SF



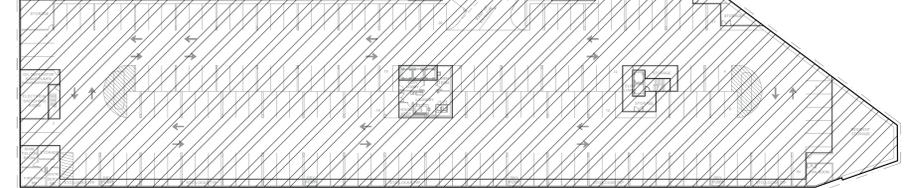
HOTEL - 2ND FLOOR

GUEST ROOMS:	21,376 SQ.FT.
AMENITIES AND SERVICES:	495 SQ.FT.
CIRCULATION:	2,012 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	627 SQ.FT.
TOTAL HOTEL AREA:	23,835 SQ.FT.

APARMENTS - 1ST FLOOR

APARTMENTS:	15,543 SQ.FT.
CIRCULATION APARTMENTS:	1,002 SQ.FT.
AMENITIES AND SERVICES:	2,390 SQ.FT.
STAIRS, ELEVATORS AND MECHANICAL:	2,111 SQ.FT.
TOTAL APARTMENT AREA	21,046 SQ.FT.

TOTAL AREA - 81,996 SF



LOWER LEVEL 2

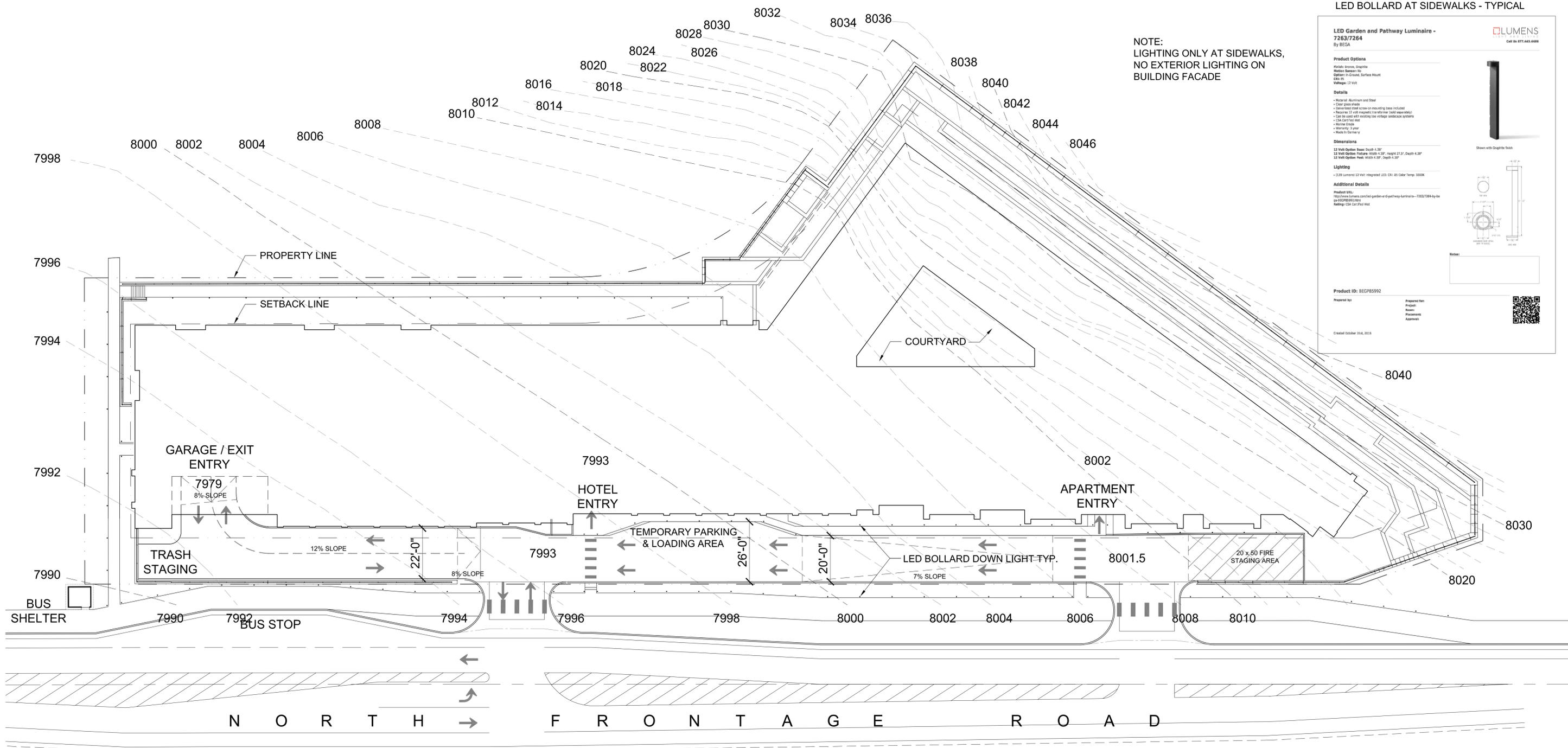
PARKING:	81,996 SQ.FT.
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LOWER LEVEL: 14 TANDERS
 142 APARTMENTS
 152 SINGLE
 112 APARTMENTS
 12 LEASED PARKING
 22 SINGLE LEASED
 UPPER LEVEL: 152 SINGLE
 100 APARTMENTS INCLUDING 4 HANGERS
 10 APARTMENTS INCLUDING 4 HANGERS
 10 LEASED PARKING
 TOTAL: 380 PARKING

R15 - Detailed Area Plans

PROPOSED RESIDENTIAL DEVELOPMENT APARTMENTS AND ATTACHED PARKING STRUCTURE Vail, Colorado

November 28, 2016



NOTE:
LIGHTING ONLY AT SIDEWALKS,
NO EXTERIOR LIGHTING ON
BUILDING FACADE

LED BOLLARD AT SIDEWALKS - TYPICAL

LED Garden and Pathway Luminaire - 7263/7264
By BEGA

Product Options
 Finish: Street, Single
 Motion Sensor: No
 Option: On Ground, Surface Mount
 CRI: 90
 Voltage: 12 Volt

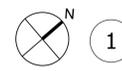
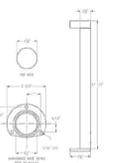
Details
 • Material: Aluminum and Steel
 • Clear glass shade
 • Color-coded end screw-on mounting base included
 • Requires 12 volt magnetic transformer (sold separately)
 • Call for code with existing low voltage landscape systems

Dimensions
 12 Volt Option Base: Depth 4.38"
 12 Volt Option Fixture: Height 18.50", Height 22.50", Depth 4.38"
 12 Volt Option Feet: Width 4.38", Depth 4.38"

Lighting
 • 1188 Lumens 12 Volt Integrated LED CRI 90 Color Temp: 3000K

Additional Details
 Product URL: <http://www.lumens.com/led-garden-and-pathway-luminaires-72637264-by-bega>
 Product ID: BEG85992
 Project: []
 Revision: []
 Approval: []

Created October 31st, 2016



1 LIGHTING PLAN

Scale: 1" = 20'-0"

R16 - Lighting Plan

PROPOSED RESIDENTIAL DEVELOPMENT
 APARTMENTS AND ATTACHED PARKING STRUCTURE
 Vail, Colorado

November 28, 2016

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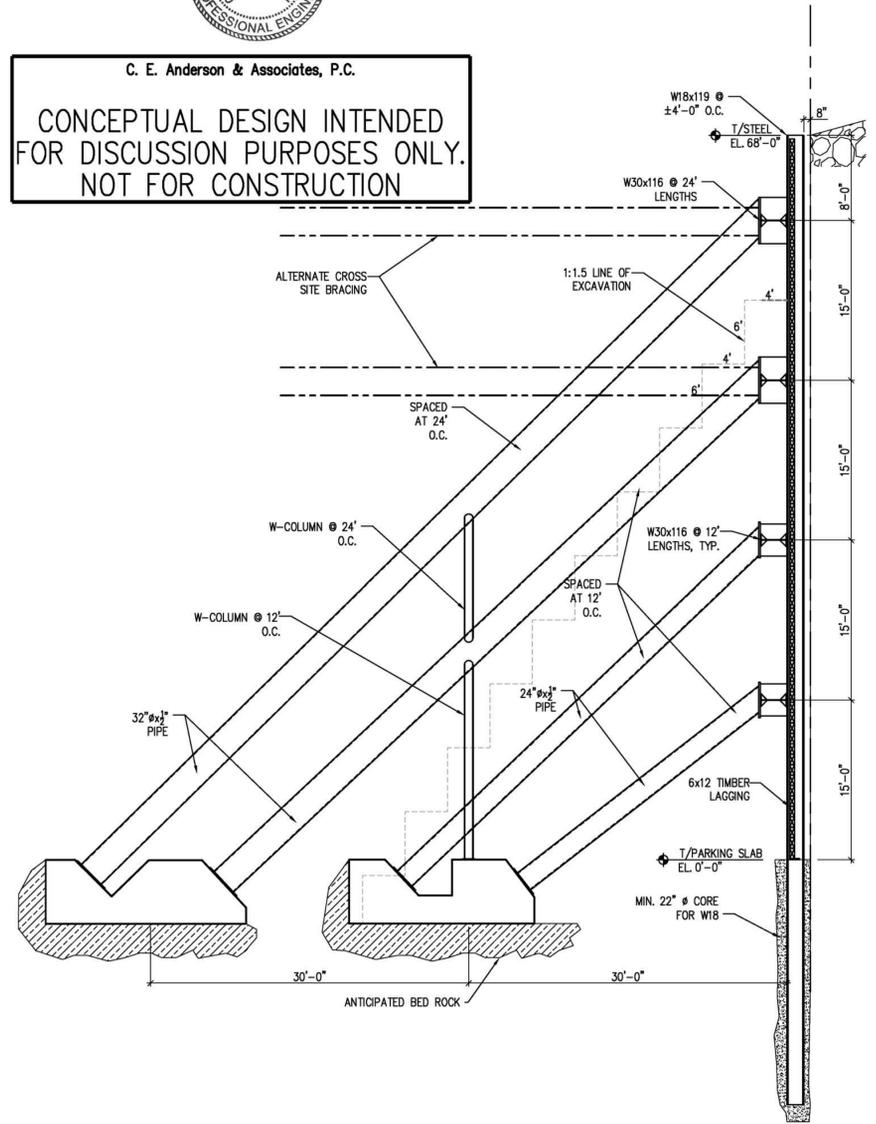
140 S. Dearborn St. Suite 200
 Chicago, Illinois 60603
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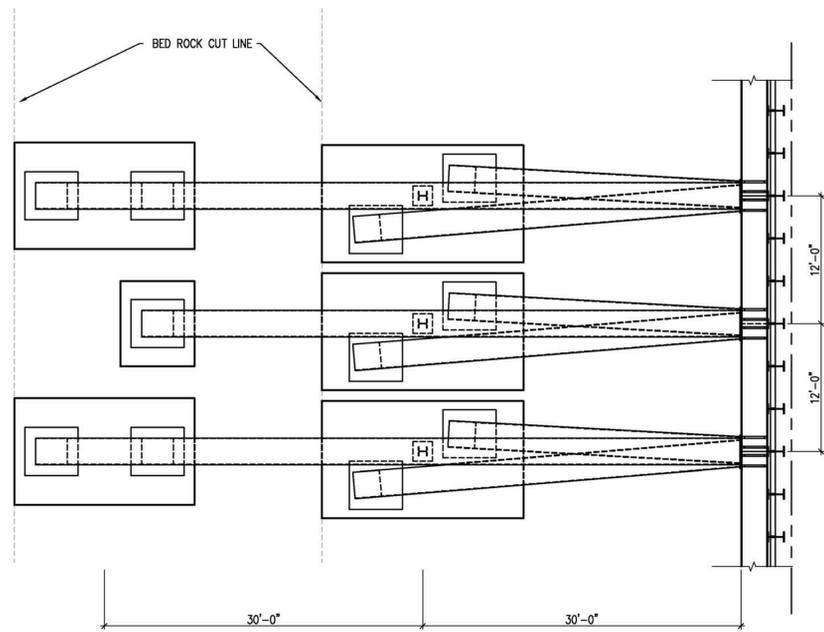
C. E. Anderson & Associates, P.C.

CONCEPTUAL DESIGN INTENDED FOR DISCUSSION PURPOSES ONLY. NOT FOR CONSTRUCTION



DATE: 10/31/2016
PROJECT: WRIGHT HEREEMA ARCHITECTS
SHEET TITLE: INTIAL PROFILE
SCALE: NTS
DRAWN/CHECKED: JPL/CEA

S1.0



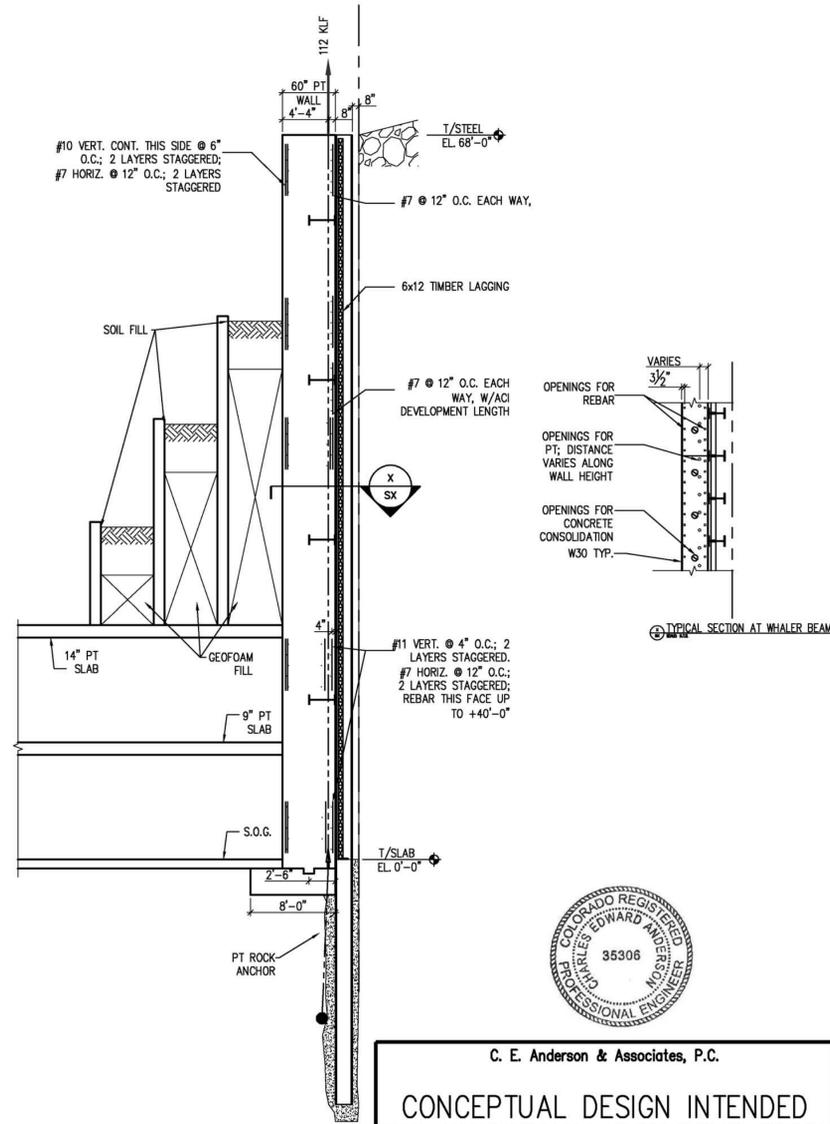
C. E. Anderson & Associates, P.C.

CONCEPTUAL DESIGN INTENDED FOR DISCUSSION PURPOSES ONLY. NOT FOR CONSTRUCTION



DATE: 10/31/2016
PROJECT: WRIGHT HEREEMA ARCHITECTS
SHEET TITLE: PLAN
SCALE: AS NOTED
DRAWN/CHECKED: JPL/CEA

S2.0



DATE: 10/31/2016
PROJECT: WRIGHT HEREEMA ARCHITECTS
SHEET TITLE: PROFILE
SCALE: NTS
DRAWN/CHECKED: JPL/CEA

S3.0

S1 - Structural Details

PROPOSED RESIDENTIAL DEVELOPMENT
APARTMENTS AND ATTACHED PARKING STRUCTURE
Vail, Colorado

November 28, 2016

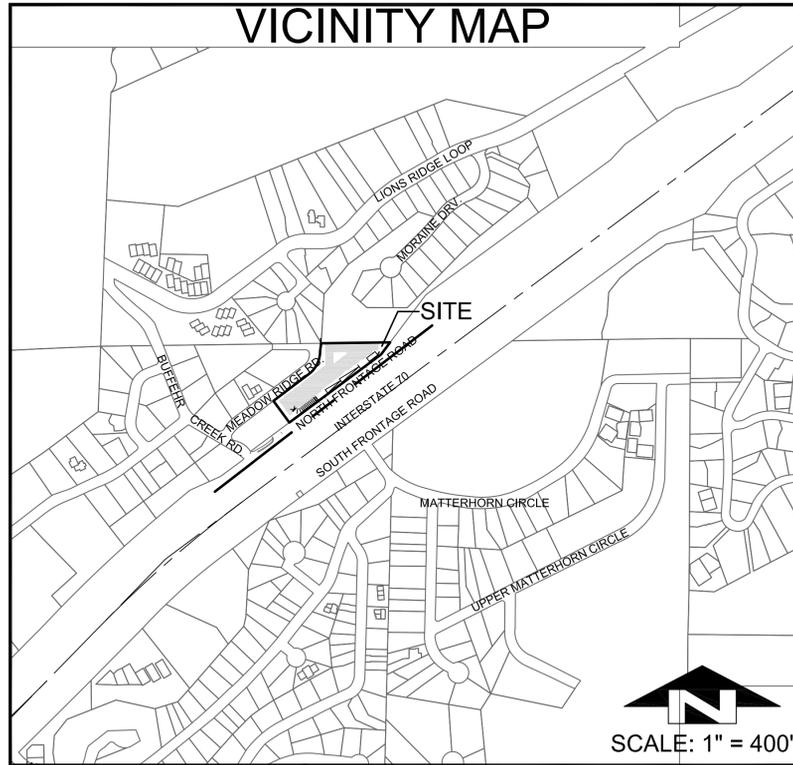


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TOWN OF VAIL - GENERAL NOTES

- Obtain a Public Way permit from the Town of Vail Department of Public Works, (970) 479-2158. Obtain all required building permits through the Town of Vail Department of Community Development, 75 S. Frontage Road, Vail, CO, 81657.
- All contractors shall be licensed to perform work within the Town of Vail. Obtain and pay for contractor's license at the Town of Vail Department of Community Development, 75 S. Frontage Road, Vail, CO 81657.
- The contractor shall obtain all necessary standards, specifications, permits, bonds, etc. from all applicable agencies prior to commencement of construction.
- The public and the Town of Vail will have the right occupy the public Right-of-Way and adjacent facilities during the entire period of construction. Perform site work operations to minimize conflicts and to facilitate use of the premises and conduct of normal operations.
- All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Town of Vail Code, Development Standards Handbook, Construction Details and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the Town of Vail.
- All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the Town of Vail, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the Town of Vail Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the Town of Vail, and its officers and employees, from and against all liabilities and damages which may arise from any negligent errors and omissions contained in these plans.
- All sanitary sewer, storm sewer, and water line construction, as well as power and other "dry" utility installations, shall conform to the local utility entities standards and specifications current at the date of approval of the plans by the Town of Vail.
- The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the contractor to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The contractor shall be responsible for unknown underground utilities.
- These drawings represent only the approximate location of utilities and are included only for the convenience of the contractor. Contractor shall be responsible for locating all utilities, pipes and structures. Contact utility notification center of Colorado (800)-922-1967 to locate underground facilities. Contact Town of Vail for additional locates (970) 479-2158. Contact Eagle River Water and Sanitation District for additional locates (970)-476-7480 ext. 114. Utility locates to be performed at least 72 hours prior to any construction activity. Contractor shall ensure that work preformed in the proximity to utilities shall be according to the requirements of these agencies. The contractor shall notify the owner's representative of any existing utilities which may interfere with the proposed work prior to construction. The contractor shall repair all existing utilities to remain which are damaged during construction at no additional cost to the owner.
- The contractor shall coordinate and cooperate with the Town of Vail, and all utility companies involved, assuring that the work is accomplished in a timely fashion and with a minimum disruption of service. The contractor shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
- A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to facilitate construction or if any water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
- The contractor shall submit for approval and comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, at (303) 692-3590) OR the Town of Vail Storm Water Discharge Permit (Contact 970-479-2333) whichever is deemed necessary, the Storm Water Management Plan, and the Erosion Control Plan. Alpine Engineering will prepare the Storm Water Permit, and SWMP and Erosion Control Plan.
- Contractor shall provide and maintain approved erosion and sediment control "best management practices" (BMP) for the project duration. Contractor shall inspect BMP's weekly and after every precipitation event. Contractor shall document inspection and make reports available upon request. Accumulated sediment and debris shall be removed from a bmp when the sediment level reaches one half the bmp heights or, at any time that the BMP functionality is adversely impacted. All necessary maintenance and repair shall be completed within 48 hours of identification, unless otherwise agreed upon.
- The Town of Vail shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of on site drainage facilities shall be the responsibility of the private owners.
- The Town of Vail shall not be responsible for any damage or injuries sustained as a result of the construction of this project as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage.
- The contractor shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the Town of Vail construction inspector.
- The contractor shall notify the Town of Vail Construction Inspector (970-479-2198) 72 hours prior to the start of any construction. If work is suspended for any period of time after initial start-up, the contractor shall notify the Town of Vail of reason for suspension and estimated time of suspension. Contractor shall notify the Town of Vail 72 hours prior to restart of construction.
- The contractor shall notify the Town of Vail Environmental Health Inspector (970-479-2333) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements.
- The Owner shall be responsible for obtaining and submitting to the Town of Vail Construction Inspector material tests in accordance with the applicable standards and specifications for all work within the Public Right-of-Way. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Owner shall be responsible for a re-design of the subject pavement section. All final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Town of Vail Construction Inspector prior to placement of base and asphalt.
- Prior to placement of H.B.P. or concrete within the public Right of Way a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having minimum single axle weight of at least 18,000 lbs. Any subgrade/base section exhibiting excessive pumping or deformation as determined by the construction inspector shall be reworked, replaced or modified to form a non-yielding surface. The Town of Vail Construction Inspector shall be notified 24 hours prior to a "proof roll".
- The contractor shall furnish electronic and hard copy reproducible As-Built record drawings showing horizontal and vertical locations and elevations of constructed improvements including all utilities, and drainage appurtenances prior to acceptance of the project.
- The contractor shall video camera (TV) all installed public storm sewer pipe prior to final paving and/ or other final surface treatments are completed. A copy of the video taping shall be provided to the Town of Vail for review and approval and record keeping.
- The contractor shall be responsible for all aspects of safety -including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
- The contractor shall submit and have approved a Construction Traffic Control Plan, in accordance with the MUTCD (Manual of Uniform Traffic Control Devices), to the Town of Vail Construction Inspector, prior to any construction activities within, or affecting, the Right-of-Way. The contractor shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
- The contractor shall submit to the Town of Vail Construction Inspector and gain approval for a construction staging plan, schedule and phasing plan prior to the start of construction.
- Construction sites and staging areas must be fenced and maintained in a secure condition at all times. Fenc fencing and surrounding areas clear of trash and debris. Any construction debris or mud dropped into manholes, pipes, or tracked onto existing roadways shall be removed immediately by contractor. Contractor shall repair any excavations or pavement failures caused by construction within or in the vicinity of the limits of construction. The contractor shall be responsible for damage due to construction at no additional costs to owner. The contractor shall remove all sediment, mud, and construction debris that may accumulate in the flow lines, private property, and public rights of ways of the town as a result of this construction project. Removal shall be conducted within 48 hours. Return all construction staging sites to their original condition upon completion of the construction project.
- Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built record drawings.
- The contractor shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.
- If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the contractor shall contact the Owner, the Design Engineer and the Town of Vail Construction Inspector immediately.
- The Designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks for the project as well as the basis of bearings. The information shall be as follows:
Project Benchmark: HARN CONTROL POINT 'SPRADDLE'. ELEV: 8287.82
Basis of Bearings: THE LINE CONNECTING THE MONUMENTS FOUND AT THE CENTER ¼ CORNER AND THE WEST ¼ CORNER OF SECTION 12, T5S, R81W OF THE 6TH P.M. BEING N89°25'23"E.
Project Benchmark and Basis of Bearings provided by Peak Land Consultants.
- Locate, protect, and maintain bench marks, monuments, control points and project engineering reference points. Reestablish disturbed or destroyed items at Contractor's expense.
- The contractor shall be responsible for replacement of any existing materials that are damaged during construction within the limits of construction or in the vicinity of the limits of construction, at no additional cost to the Owner.
- When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. Patching shall be done in accordance with the Town of Vail Street Repair Standards and/or CDOT requirements. The seams of the asphalt patches shall be infared unless otherwise instructed by the Town of Vail Engineer.



TOWN OF VAIL - GENERAL NOTES CONTINUED

- Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.
- Standard Handicap ramps are to be constructed at all curb returns as identified on these plans. The construction of these handicap ramps shall be in accordance to ADA current standards.
- After acceptance by the Town of Vail, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
- The Contractor shall be solely and completely responsible for the conditions at and adjacent to the job site, including safety of persons and property during performance of the work. The contractor shall provide lights, signs, barricades, flagmen, or other devices necessary to provide for public safety, pedestrian and vehicular access as needed. This requirement shall apply continuously and not be limited to normal working hours.
- The Contractor shall not willfully proceed with construction as designed when it is obvious that previously unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the owner's representative for decision. The contractor shall assume full responsibility for all necessary revisions and repairs due to failure to give such notification at no additional cost to the Owner.
- At the end of each working day, the Contractor shall be responsible for connecting the existing storm drainage pipes to the newly installed storm drainage system. All drainage systems within the construction limits shall be maintained by the Contractor for the entire duration of the construction project. The contractor shall be responsible to maintain all drainage within the construction site and offsite drainage which is directly affected by construction.
- Contractor shall be responsible for maintaining the operation of the existing Town street lights within the project limits. The contractor may provide temporary street lighting approved by Town of Vail, when existing street lights are removed.
- Contractor shall be responsible for maintaining the operation of existing Town irrigation lines within the project limits unless otherwise approved by the Town of Vail.
- It is the responsibility of the contractor to protect and preserve all trees, bushes, shrubs and cover in a manner acceptable to the owner. All areas of Town of Vail Right-of-Way disturbed during construction shall be well graded to drain, covered with a minimum of 4-inches of top soil, fertilized, mulched and re-seeded according to the Town of Vail's standard specifications.
- Contractor shall maintain access to fire department hydrants and connections shall be maintained throughout construction unless otherwise approved by the Town of Vail Fire Department.

SCHEMATIC
October 31, 2016
NOT FOR CONSTRUCTION



C01.1 COVER SHEET

CIVIL SHEET INDEX

CIVIL COVER SHEET AND NOTES	C01.1 - C01.2
TOPOGRAPHIC SURVEY	SHEETS 1 - 4
PROPOSED GRADING PLAN	C03.1 - C03.3
PROPOSED DRIVE PROFILES	C04.1
PROPOSED STORM SEWER PLAN	C05.1
PROPOSED UTILITY PLAN	C06.1
PROPOSED FRONTAGE ROAD LAYOUT	C07.1
CONSTRUCTION DETAILS	C08.1 - C08.4

PROJECT CONTACTS

ARCHITECT (WRIGHT HEEREMA)	RICHARD FAWELL	(312) 356-7966
LANDSCAPE ARCHITECT (MACDESIGN)	JAMIE MCCLUSKIE	(970) 513-9345
CIVIL ENGINEER (ALPINE ENGINEERING)	MATT WADEY	(970) 926-3373
TRAFFIC ENGINEER (MCDOWELL ENGINEERING)	KARI MCDOWELL SCHROEDER	(970) 366-9502
TOWN OF VAIL	TOM KASSMEL	(970) 479-2235

GENERAL NOTES

- The contractor shall conform to all Town of Vail (TOV) rules, regulations and stipulations while accessing the site or working on the site.
- The Contractor is warned that conflicts with existing utility services may exist, including shallow utilities, culverts, sub-drains, roof drains, irrigation lines, water and sewer lines, electric service lines, etc. Prior to beginning any construction, the Contractor shall contact all appropriate utility companies for line locations, and Contractor shall then locate all utilities (including depth). Alpine Engineering, Inc. assumes no responsibility for utility locations. Any conflicts with the proposed construction shall be brought to the attention of the Engineer so that minor line or grade changes can be made to eliminate any conflicts with these existing utilities. All existing utilities shall be protected from damage by the Contractor. Utilities that are damaged by the contractor that were properly marked/located shall be repaired by the contractor at no expense to the owner or engineer.
- All work shall conform to the Technical Specifications.
- Contractor shall obtain at his expense all permits and inspections which are necessary to perform the proposed work.
- Observations of the work in progress and on-site visits are not to be construed as a guarantee or warranty by the Engineer of the Contractor's contractual responsibilities.
- Safety is the responsibility of the Contractor. The Engineer is not responsible for safety in, on, or about the project site, nor for compliance by the appropriate party with any regulations relating thereto.
- The contractor shall take all appropriate precautions to significantly reduce any potential pollution caused by his activities, including vehicle fueling, storage of fertilizers or chemicals, etc. The contractor shall have identified procedures for handling potential pollutants and have identified spill prevention and response procedures prior to any activities at the project site.
- If any groundwater is encountered, the contractor shall contact Alpine Engineering, Inc. and the Project Geotechnical Engineer immediately.
- The contractor shall maintain existing drainage channels, culverts and appurtenances during construction as necessary to protect roads and property.
- Contractor shall minimize construction disturbance to the satisfaction of the owner.
- Contractor is to dispose of spoil material off site.
- The Contractor shall protect and preserve all trees, bushes, shrubs and ground cover, not designated for removal, in a manner acceptable to the Owner. Contractor is to repair and/or replace any landscaping damaged as a result of construction to a condition equal to or better than existing.
- Existing survey information was provided to AEI by others.
- Off-site roads shall be kept clean to the satisfaction of the owner and TOV.
- The Contractor shall provide all lights, signs, barricades, flagmen, or other devices necessary to provide for public safety in accordance with the current Manual on Uniform Traffic Control Devices.
- The Contractor is responsible to install and maintain sediment control measures to insure that sediment-laden water does not leave the site. Certain sediment control measures have been shown these plans. These measures may not be all that is necessary to provide adequate sediment and erosion control. Contractor shall provide ongoing inspection and maintenance of all sediment control features.
- All inlet frames/grates, manhole and vault lids, valve box covers and irrigation boxes shall be set to match the adjacent finished grades and slopes.
- Any water valve box or sewer manhole adjustments shall conform to Eagle River Water and Sanitation District's standards and specifications. All materials and workmanship shall be subject to inspection by the districts and/or their representatives. The District reserves the right to accept or reject any such materials and workmanship that do not conform to district standards or specifications.
- The Contractor shall repair and/or replace any existing underdrains, culverts or existing utilities disturbed by construction, and that are intended to remain, to the satisfaction of the Engineer and the respective utility company of the damaged utility.



PROPOSED HOTEL - RESIDENTIAL DEVELOPMENT
VAIL, COLORADO

DESIGNED	GDA	NO.	DATE	REVISIONS	BY
DRAWN	GDA	1	08/12/16	SDD	
CHECKED	MCW	2	10/31/16	SDD	
JOB NO.	84327				
DATE	08/12/2016				

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WWW.ALPINECIVIL.COM

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