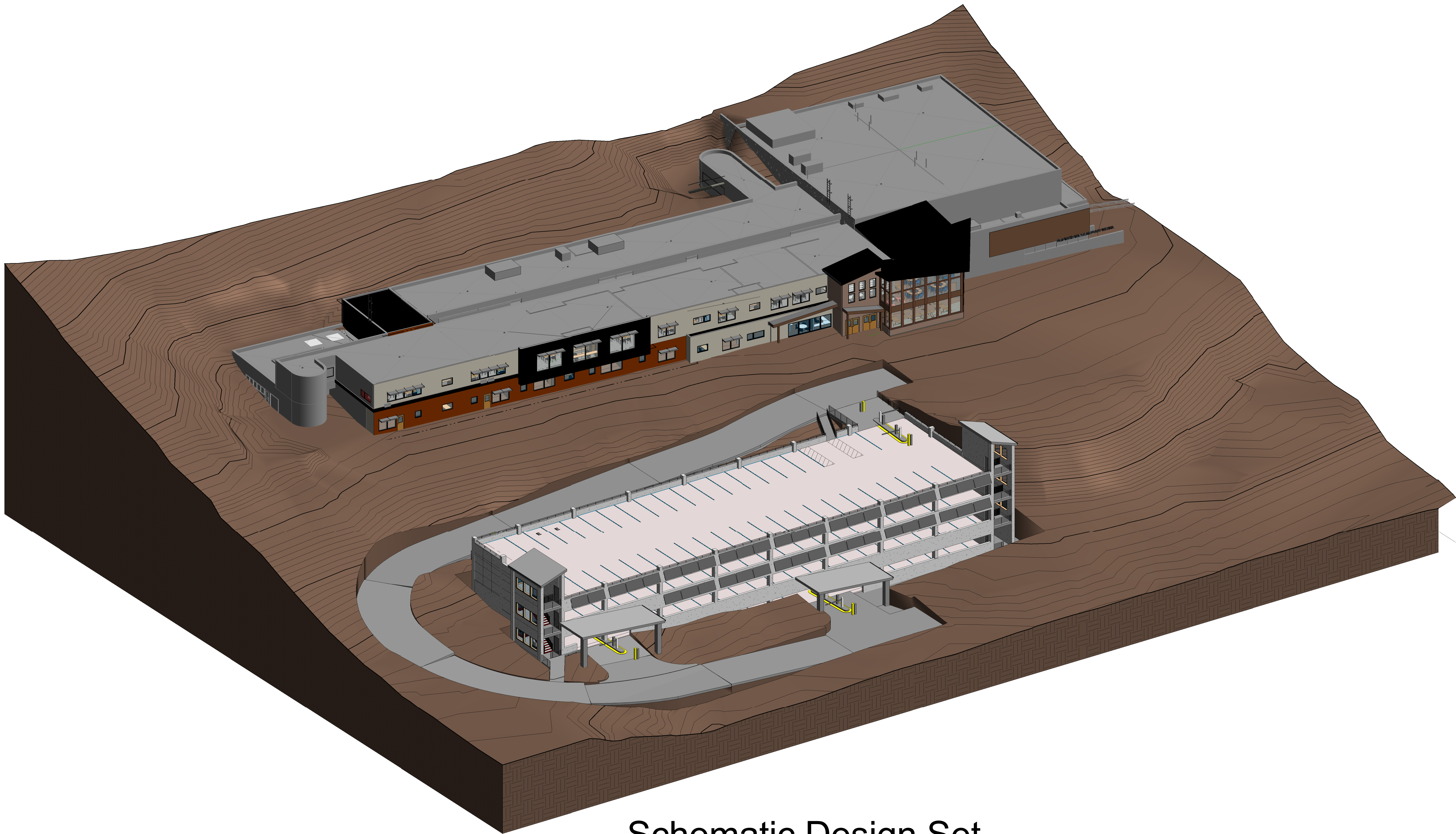
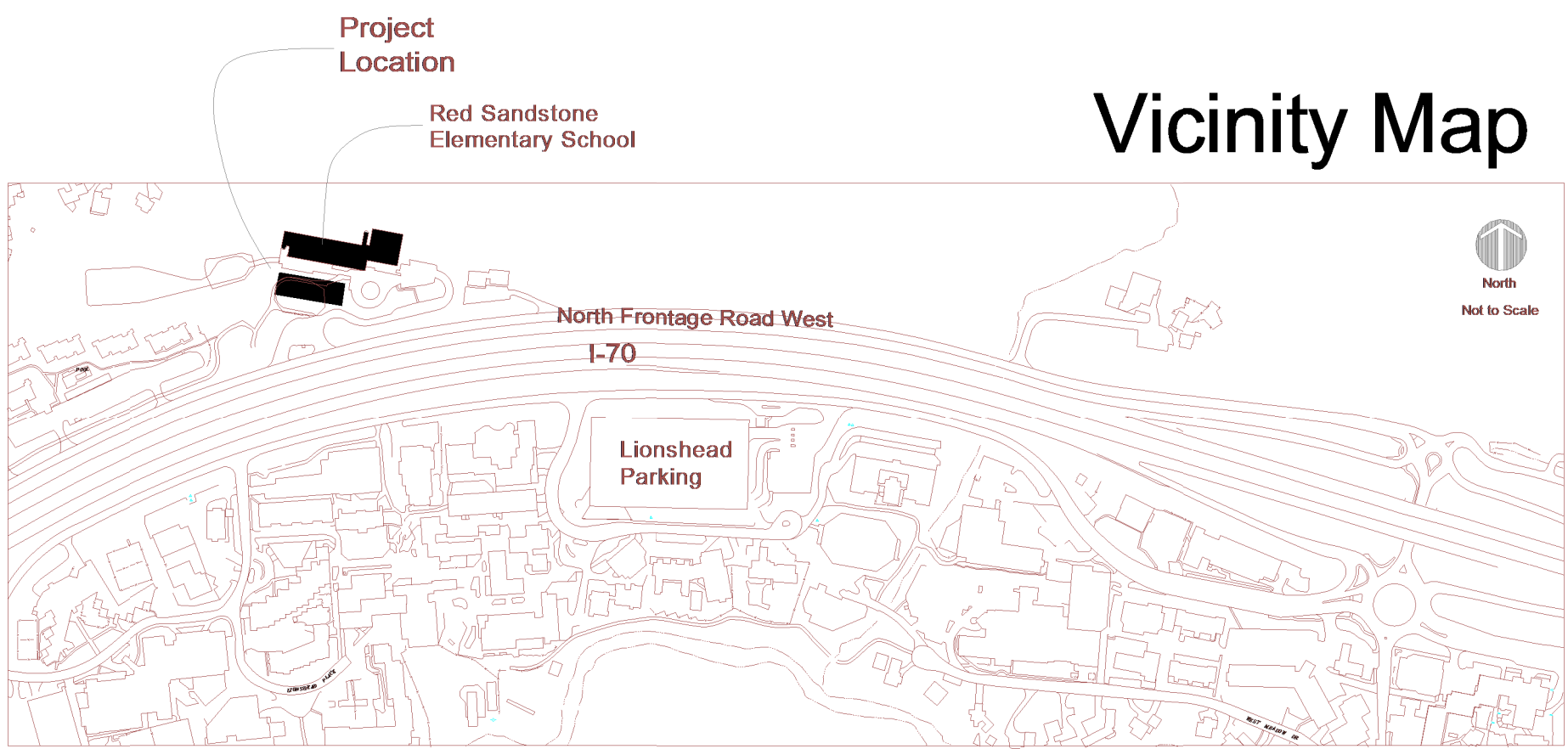


RED SANDSTONE ELEMENTARY SCHOOL RENOVATION + PARKING GARAGE

551 N Frontage Rd W
Vail, CO 81657
Vail Potato Patch Block 2 Lot 8



Schematic Design Set 07/06/2017



OWNER

EAGLE COUNTY SCHOOLS
948 Chambers Avenue / PO Box 740
Eagle, Colorado 81631
t: 970-328-2747
contact: SANDRA MUTCHLER, COO
email: sandra.mutchler@eagleschools.net
MARCI LAIDMAN, PRINCIPAL
email: marcelle.laidman@eagleschools.net

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OWNER'S REPRESENTATIVE

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541 East Garden Drive, Unit S Windsor,
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HASELDEN CONSTRUCTION
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contact: DAVID MARSH
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LANDSCAPE ARCHITECT

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CIVIL ENGINEER

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Avon, CO 81620
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email: masacconi@bgbuildingworks.com

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101 EAGLE RD #5
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t: 970-748-0274
contact: MICHELLE BONFANTI
email: mchelle@marcinenengineering.com

STRUCTURAL ENGINEER

MARTIN/ MARTIN, INC.
0101 Fawcett Road, Suite 260
Avon, CO 81620
t: 970-926-6007
contact: KEVIN HAAS
email: KHaas@martinmartin-mtn.com

Sheet List		
Sheet Name	Sheet Number	Sheet Issue Date
Cover Sheet	G0.0	07/06/17
Existing Site Photos	G0.02	07/06/17
Topographic Survey	V1.00	07/06/17
Site Illustrative	V2.00	07/06/17
Grading Plan - Parking Garage	C1.0	07/06/17
Site Profiles	C1.1	07/06/17
Storm Sewer Plan	C2.0	07/06/17
Utility Plan	C3.0	07/06/17
Erosion Control Plan	C4.0	07/06/17
Existing Site Lighting	C5.0	07/06/17
Proposed Site Lighting	C5.1	07/06/17
Overall Layout Plan	L1.0	07/06/17
Overall Landscape Plan	L2.0	07/06/17
Landscape Details	L2.1	07/06/17
Overall Hydrozone Map	L4.0	07/06/17
Levels 1 & 2	PS1.01	07/06/17
Levels 3 & 4	PS1.02	07/06/17
Roof Plan	PS1.03	07/06/17
Elevations	PS2.01	07/06/17
Elevations	PS2.02	07/06/17
Sections	PS3.01	07/06/17
Sections - Potential	PS3.02	07/06/17
Site Section - Future Development	PS9.00	07/06/17
Solar Analysis	PS9.01	07/06/17
Solar Analysis	PS9.02	07/06/17
Solar Analysis	PS9.03	07/06/17
Solar Analysis (Garage)	PS9.04	07/06/17
Solar Analysis (Garage)	PS9.05	07/06/17
Main Level Overall Demolition Floor Plan	D1.01	07/06/17
Main Level Area A Demolition Floor Plan	D1.02	07/06/17
Main Level Area B Demolition Floor Plan	D1.03	07/06/17
Second Level Overall Demolition Floor Plan	D1.04	07/06/17
Second Level Area A Demolition Floor Plan	D1.05	07/06/17
Second Level Area B Demolition Floor Plan	D1.06	07/06/17
Overall Demolition Roof Plan	D1.07	07/06/17
Demolition Area A Roof Plan	D1.08	07/06/17
Demolition Area B Roof Plan	D1.09	07/06/17
Demolition Exterior Elevations	D2.01	07/06/17
Demolition Enlarged Exterior Elevations	D2.02	07/06/17
Demolition Enlarged Exterior Elevation	D2.03	07/06/17
Main Level Overall Floor Plan	A1.01	07/06/17
Main Level Area A Floor Plan	A1.02	07/06/17
Main Level Area B Floor Plan	A1.03	07/06/17
Second Level Overall Floor Plan	A1.04	07/06/17
Second Level Area A Floor Plan	A1.05	07/06/17
Second Level Area B Floor Plan	A1.06	07/06/17
Overall Roof Plan	A1.07	07/06/17
Area A Roof Plan	A1.08	07/06/17
Area B Roof Plan	A1.09	07/06/17
Exterior Elevations	A2.01	07/06/17
Enlarged Exterior Elevations	A2.02	07/06/17
Enlarged Exterior Elevations	A2.03	07/06/17
Level 1 and 2 - Schematic Mechanical Plans	M1.00	07/06/17

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DESIGN SET

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551 N Frontage Rd W,
Vail, CO 81657

Cover Sheet
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

G0.0

1627.02.1
07/06/17
Revised

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Edwards, CO 81632
970-766-1740

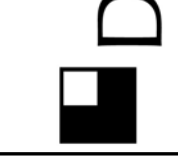
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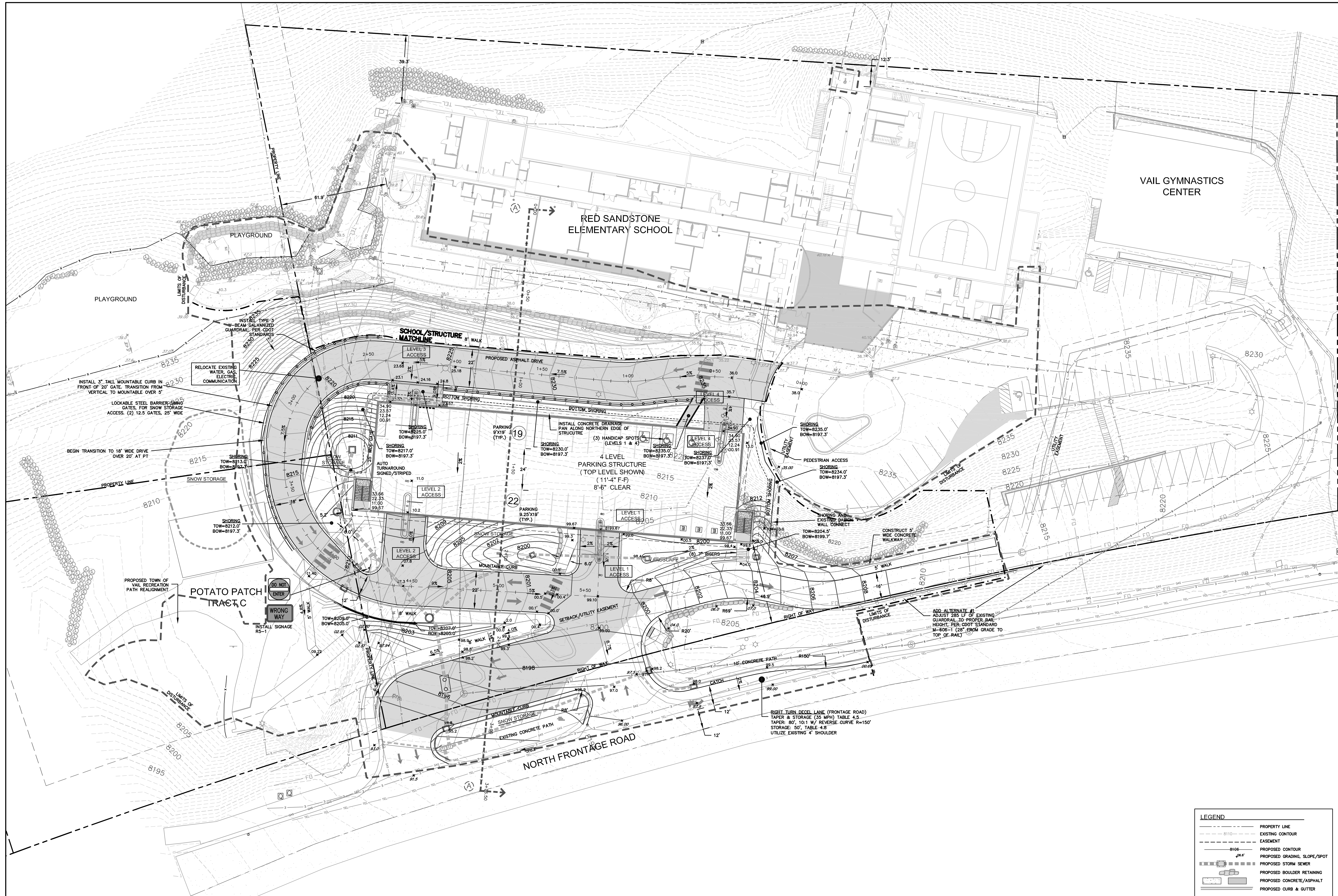
V2.00
1627.02
07/06/17
Revisions

Site Illustrative
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

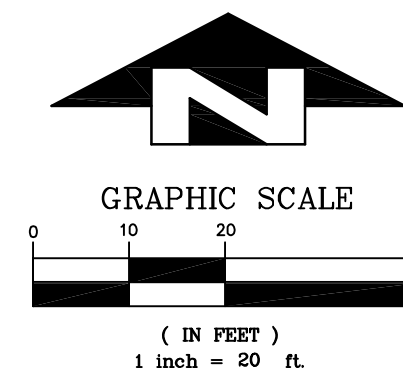
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Vail, CO 81657

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LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	EASEMENT
	PROPOSED CONTOUR
	PROPOSED GRADING, SLOPE/SPOT
	PROPOSED STORM SEWER
	PROPOSED BOULDER RETAINING
	PROPOSED CONCRETE/ASPHALT
	PROPOSED CURB & GUTTER



PRELIMINARY PLAN
July 05, 2017
NOT FOR CONSTRUCTION

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ENGINEER'S STAMP

551 N Frontage Rd West
Vail, CO 81657

Grading Plan- Parking Garage
Red Sandstone Elementary School Renovation
and Parking Garage- Vail Potato Patch Block2 Lot 8

C1.0

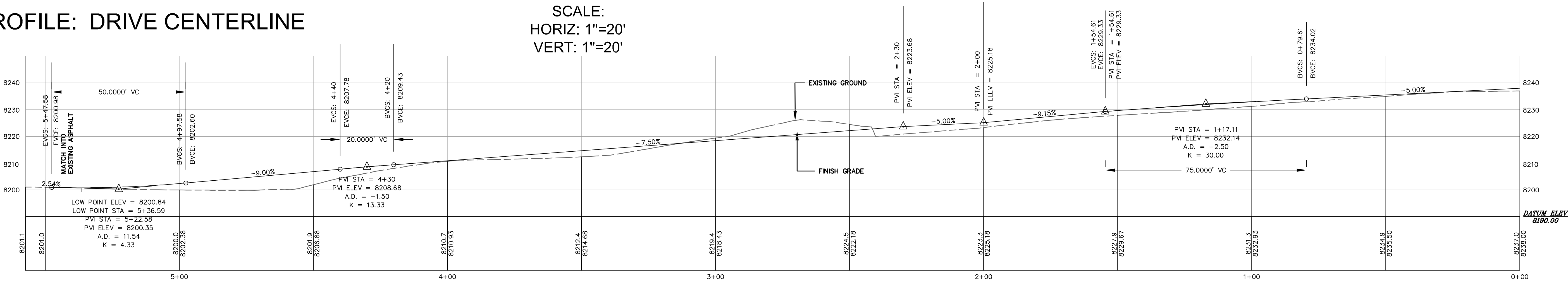
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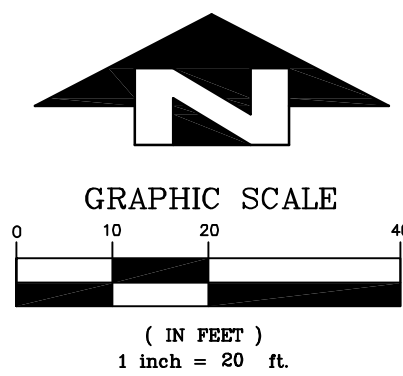
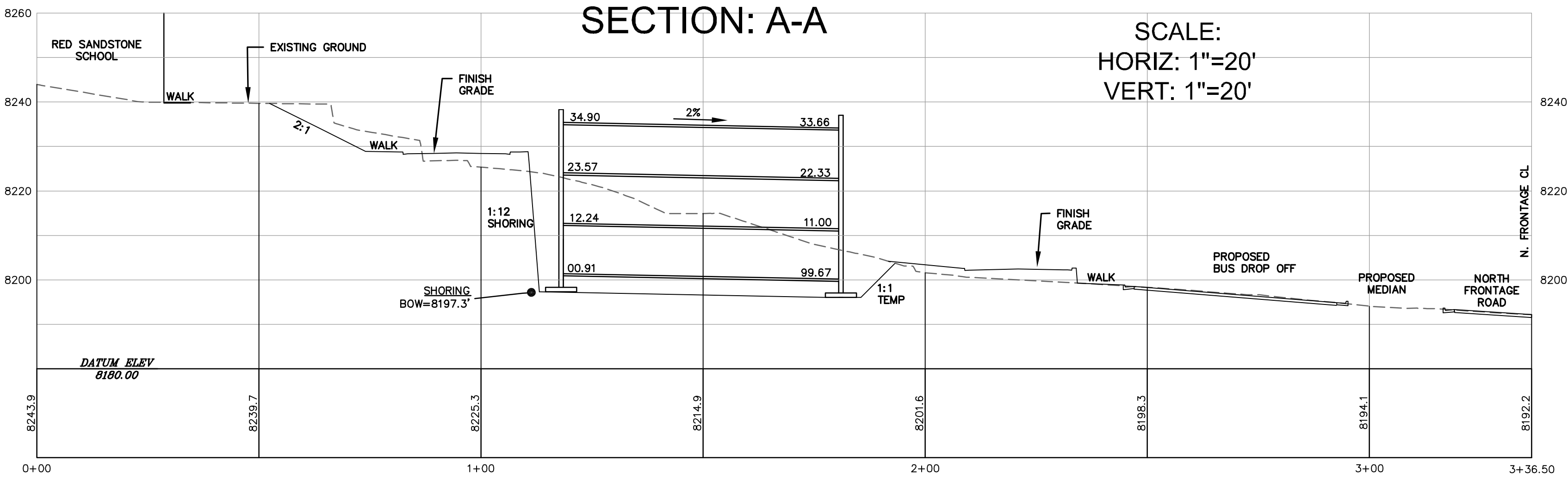
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VERT: 1"=20'



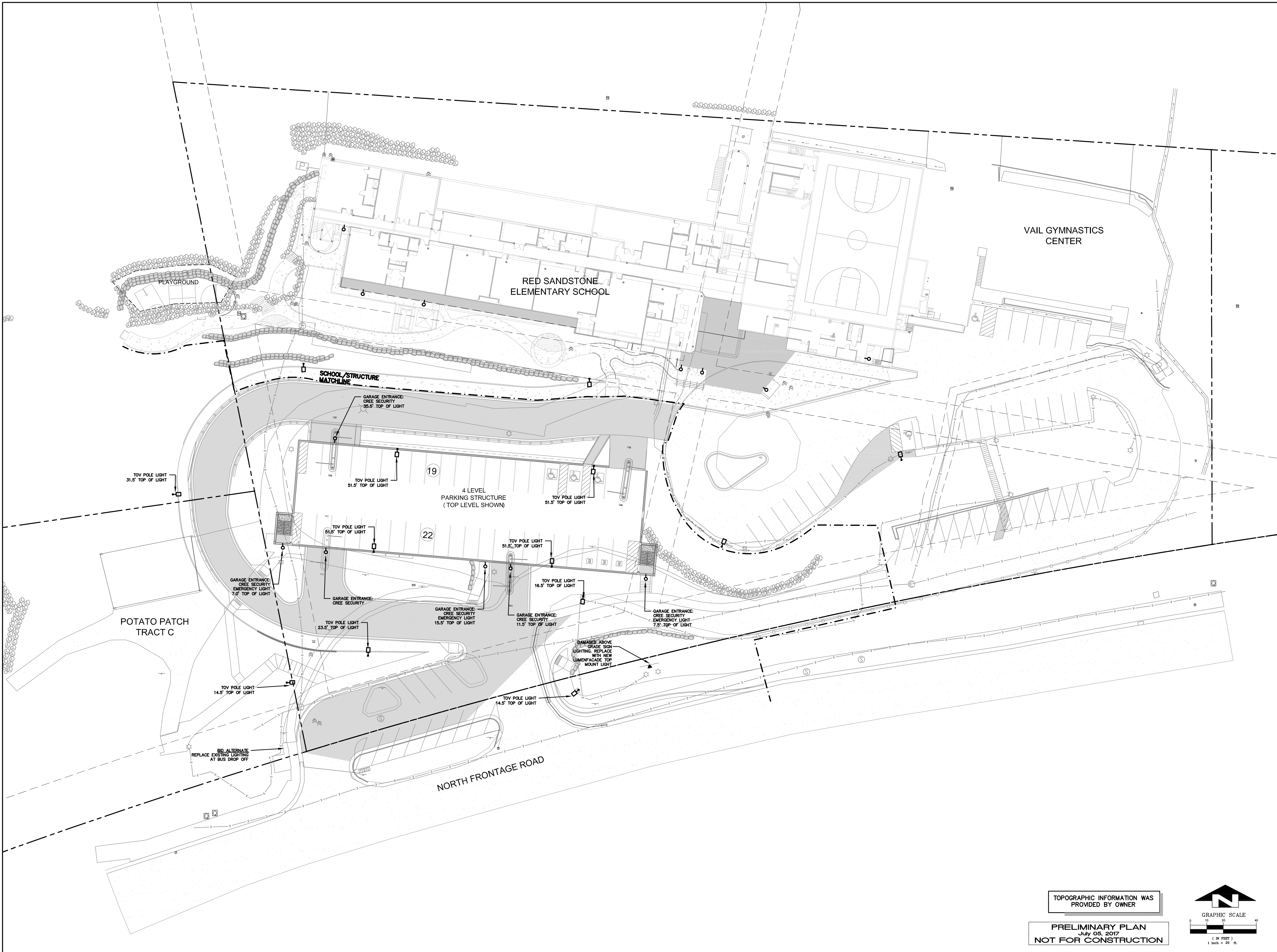
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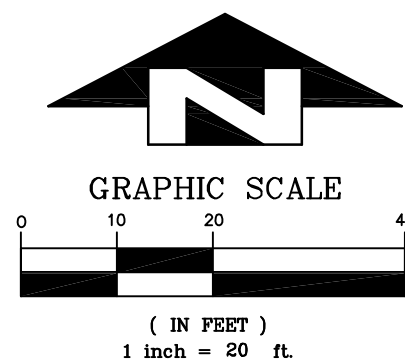
PRELIMINARY PLAN
July 05, 2017
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PRELIMINARY PLAN
July 05, 2017
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LANDSCAPE MULCH

NATIVE SEED

ORNAMENTAL GRASSES

DECIDUOUS SHRUBS

EVERGREEN SHRUBS

DECIDUOUS TREE

EVERGREEN TREE

EXISTING TREES

NATIVE SEED LIMITS

811

Know what's below.
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RED SANDSTONE ELEMENTARY SCHOOL

VAIL GYMNASTICS CENTER

4 LEVEL PARKING STRUCTURE

NORTH FRONTAGE ROAD

EXISTING PLAYGROUND TO REMAIN

MODIFY EXISTING IRRIGATION SYSTEM TO PROVIDE FULL COVERAGE TO NEW LANDSCAPE IMPROVEMENTS

FIRE STAGING AREA (32'x55'), 12" PAVED

NOTES:

- REFER TO CIVIL FOR PARKING, ROADS, INFRASTRUCTURE, UTILITIES, DRAINAGE, AND GRADING.
- EXISTING TREES IDENTIFIED TO REMAIN TO BE SAVED AND PROTECTED. REFER TO CIVIL FOR ALL SITE DEMOLITION.
- ALL LANDSCAPE AREAS TO BE IRRIGATED BY A FULLY AUTOMATED IRRIGATION SYSTEM.

PLANT LIST

QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
55	DECIDUOUS SHADE TREES			
	Narrowleaf Cottonwood	Populus angustifolia	2 1/2" cal	B&B, specimen quality
	Quaking Aspen	Populus tremuloides	2 1/2" cal	B&B, specimen quality
	Rocky Mountain Maple	Acer glabrum	2 1/2" cal	B&B, specimen quality
18	CONIFEROUS/EVERGREEN TREES			
	Colorado Blue Spruce	Picea pungens	8' ht.	B&B, specimen quality
	White Fir	Abies concolor	8' ht.	B&B, specimen quality
323	DECIDUOUS SHRUBS			
	Alpine Currant	Ribes alpinum	5 gal.	cont. 5 canes min., 18"-24" ht.
	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	5 gal.	cont. 5 canes min., 18"-24" ht.
	Goldmound Spirea	Spiraea japonica 'Gold Mound'	5 gal.	cont. 5 canes min., 18"-24" ht.
	Miss Kim Lilac	Syringa pubescens patula 'Miss Kim'	5 gal.	cont. 5 canes min., 18"-24" ht.
	Red Grootendorst Rose	Rosa 'F.J. Grootendorst'	5 gal.	cont. 5 canes min., 18"-24" ht.
	Redoster Dogwood	Cornus sericea	5 gal.	cont. 5 canes min., 18"-24" ht.
	Regent Serviceberry	Amelanchier alnifolia 'Regent'	5 gal.	cont. 5 canes min., 18"-24" ht.
	Rocky Mountain Sumac	Rhus glabra cismontana	5 gal.	cont. 5 canes min., 18"-24" ht.
	Waxflower	Jamesia Americana	5 gal.	cont. 5 canes min., 18"-24" ht.
	Woods Rose	Rosa woodsii	5 gal.	cont. 5 canes min., 18"-24" ht.
264	CONIFEROUS/EVERGREEN SHRUBS			
	Common Juniper	Juniperus communis	5 gal.	cont. 5 canes min., 18"-24" ht.
	Miniature Mugo Pine	Pinus mugo 'Mops'	5 gal.	cont. 5 canes min., 18"-24" ht.
	Scandia Juniper	Juniperus sabina 'Scandia'	5 gal.	cont. 5 canes min., 18"-24" ht.
60	ORNAMENTAL GRASSES			
	Autumn Light Maiden Grass	Miscanthus sinensis 'Autumn Light'	1 gal.	cont. 5 canes min., 18"-24" ht.
	Little Bluestem Grass	Schizachyrium scoparium	1 gal.	cont. 5 canes min., 18"-24" ht.

NATIVE SEED MIX

IRRIGATED NATIVE SEED: FRESH, CLEAN, DRY, NEW CROP SEED COMPLYING WITH THE ASSOCIATION OF OFFICIAL SEED ANALYSTS "RULES FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES. REFER TO SPECIFICATIONS FOR APPLICATION RATE.

BLUE GRAMA	25%
BOTTLEBUSH SQUIRRELTAIL	5%
BUFFALOGRASS	25%
GREEN NEEDLEGRASS	5%
PRAIRIE JUNEGRASS	5%
SAND DROPSEED	5%
SIDEOATS GRAMA	20%
WESTERN WHEATGRASS	10%

SCALE 1"=20'-0"

NORTH

SCHEMATIC
DESIGN SET

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Vail, CO 81657

Overall Landscape Plan
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

L2.0

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OWN DESIGN

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6/19/2017 8:07:11 AM



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NUMBER OF TREES AT OR ABOVE 4" DIAMETER TO BE REMOVED
40

- NOTES:
1. BASED ON THIS PROPOSED SITE PLAN, DATED 06-23-2017, 36 TOTAL TREES, 4" DIAMETER OR LARGER ARE TO BE REMOVED
 2. TREE REMOVAL PLAN BASED ON CURRENT AVAILABLE INFORMATION. UPDATED TREE SURVEY INFORMATION TO BE PROVIDED AT LATER DATE.
 3. CONTACT LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREE SHOW AS 'TO REMAIN' IS TO BE REMOVED DUE TO CONSTRUCTION ACTIVITIES
 4. REFER TO CIVIL FOR PARKING, ROADS, INFRASTRUCTURE, UTILITIES, DRAINAGE, AND GRADING.

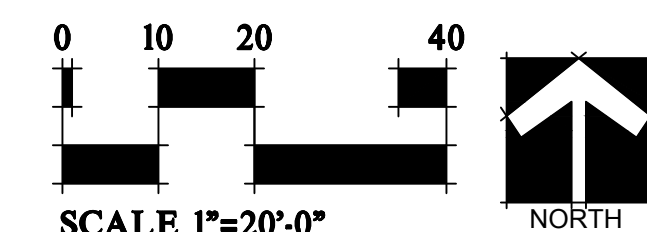
LEGEND

EXISTING TREES TO BE REMOVED

EXISTING TREES TO REMAIN

EXISTING SHRUBS TO BE REMOVED

LIMITS OF DISTURBANCE



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ENGINEER'S STAMP
551 N Frontage Rd West
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Tree Removal Plan
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

L3.0
1627.02
06/26/17
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EXISTING PLAYGROUND
TO REMAIN

RED SANDSTONE
ELEMENTARY SCHOOL

4 LEVEL PARKING
STRUCTURE

VAIL GYMNASICS
CENTER

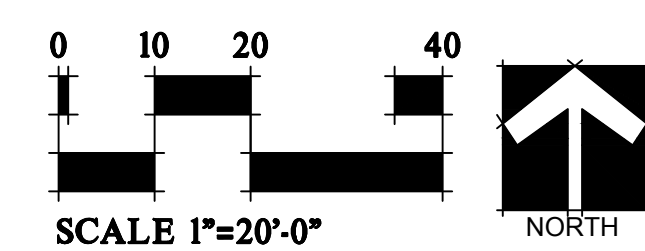
NORTH FRONTAGE ROAD

FIRE STAGING AREA
(32'X55') 12" PAVED

LEGEND	
	NON IRRIGATED (5,141 SF)
	WATER CONSERVING (26,589 SF)
	LIMITS OF DISTURBANCE

NOTES:

1. REFER TO CIVIL FOR PARKING, ROADS, INFRASTRUCTURE, UTILITIES, DRAINAGE, AND GRADING.
2. EXISTING TREES IDENTIFIED TO REMAIN TO BE SAVED AND PROTECTED. REFER TO CIVIL FOR ALL SITE DEMOLITION.
3. ALL LANDSCAPE AREAS TO BE IRRIGATED BY A FULLY AUTOMATED IRRIGATION SYSTEM.



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DESIGN SET

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Vail, CO 81657

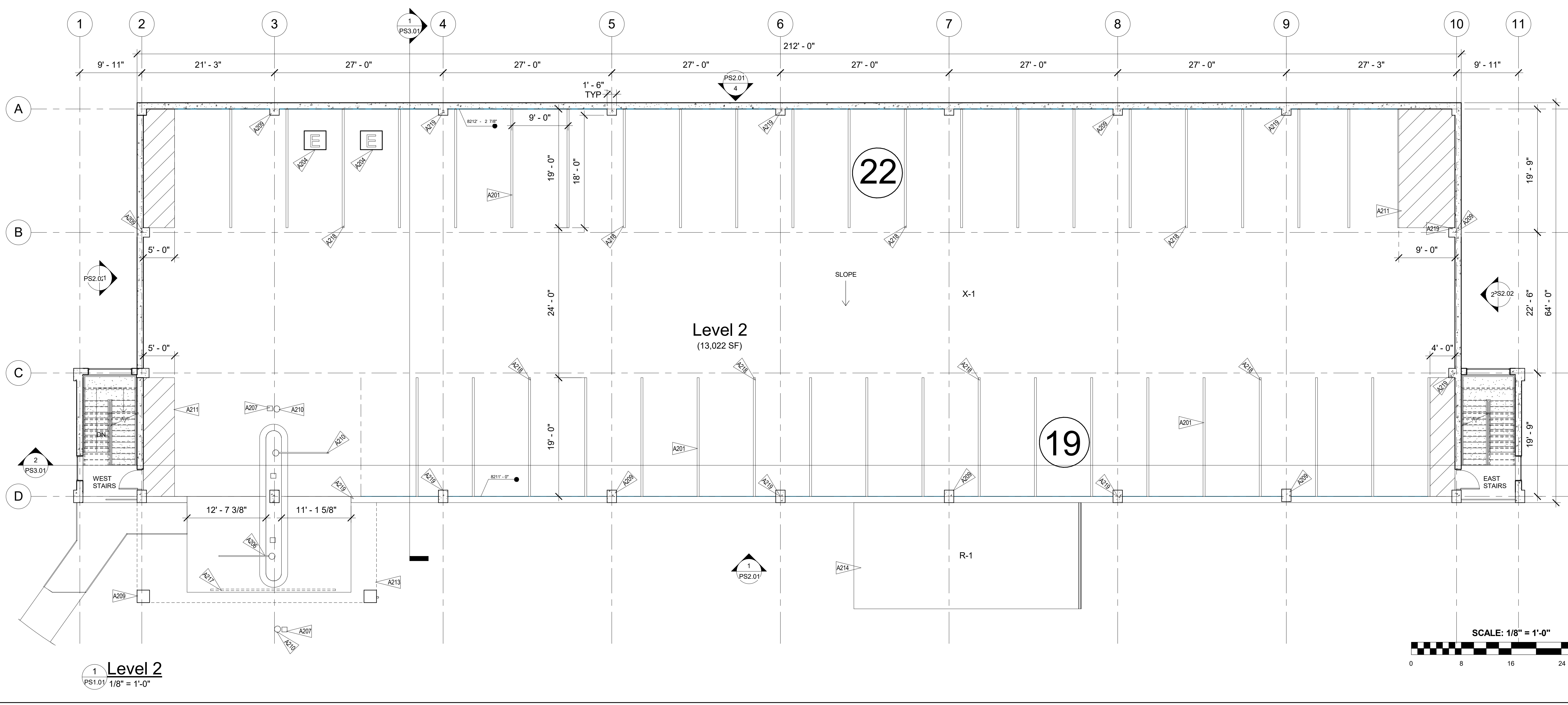
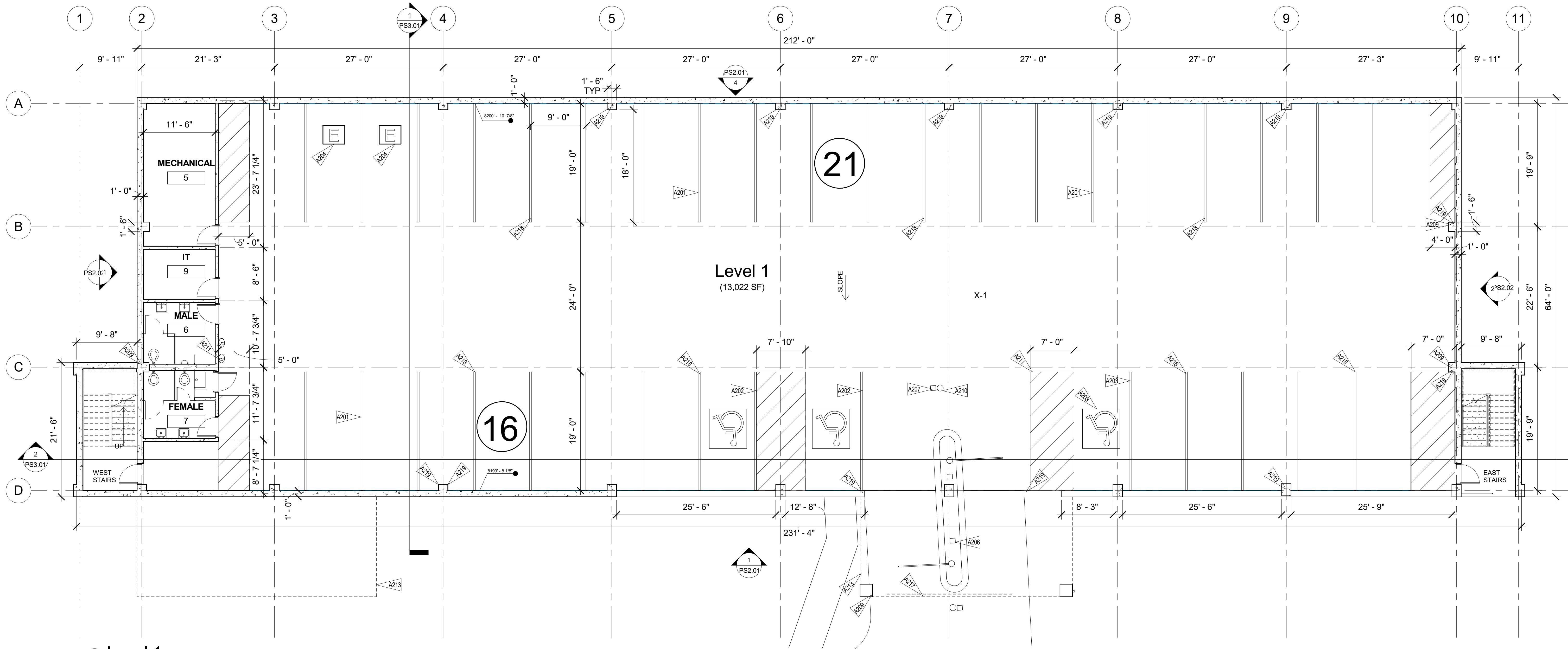
Overall Hydrozone Map
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

L4.0

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1627.02
06/06/17
Hydrozone
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LEGEND NOTES

FLOOR PLAN GENERAL NOTES:

1. DO NOT SCALE DRAWINGS.
2. IN AREAS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
3. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS RELATE TO USGS ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
4. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
6. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.

Tag Notes Legend	
Key Value	Keynote Text
A201	9' x 19' PARKING STALL
A202	ADA PARKING STALL
A203	ADA VAN PARKING STALL
A204	ELECTRIC CHARGING PARKING
A206	ELECTRIC ENTRY GATE
A207	ELECTRIC ENTRY GATE RECEIVER
A208	ADA PARKING PAINT
A209	STRUCTURAL COLUMN
A210	TRAFFIC BOLLARD
A211	TRAFFIC STRIPING
A213	ROOF ABOVE
A214	ROOF BELOW
A217	8'-0" BANG BAR
A218	ALTERNATE #1 - PROVIDE FOUR (4) EQUALLY SPACED, RAISED DOWNS THREE (3) NON-REFLECTIVE DOWNS AND ONE (1) REFLECTIVE DOME AT EACH PARKING STRIPE ON ENTIRE PARKING LEVEL
A219	ALTERNATE #2 - STEEL CORNER GUARDS AT ALL COLUMNS
R-1	STANDING SEAM METAL ROOF
X-1	EXPOSED CONCRETE

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Levels 1 & 2
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

PS1.01

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07/06/17
Revisions

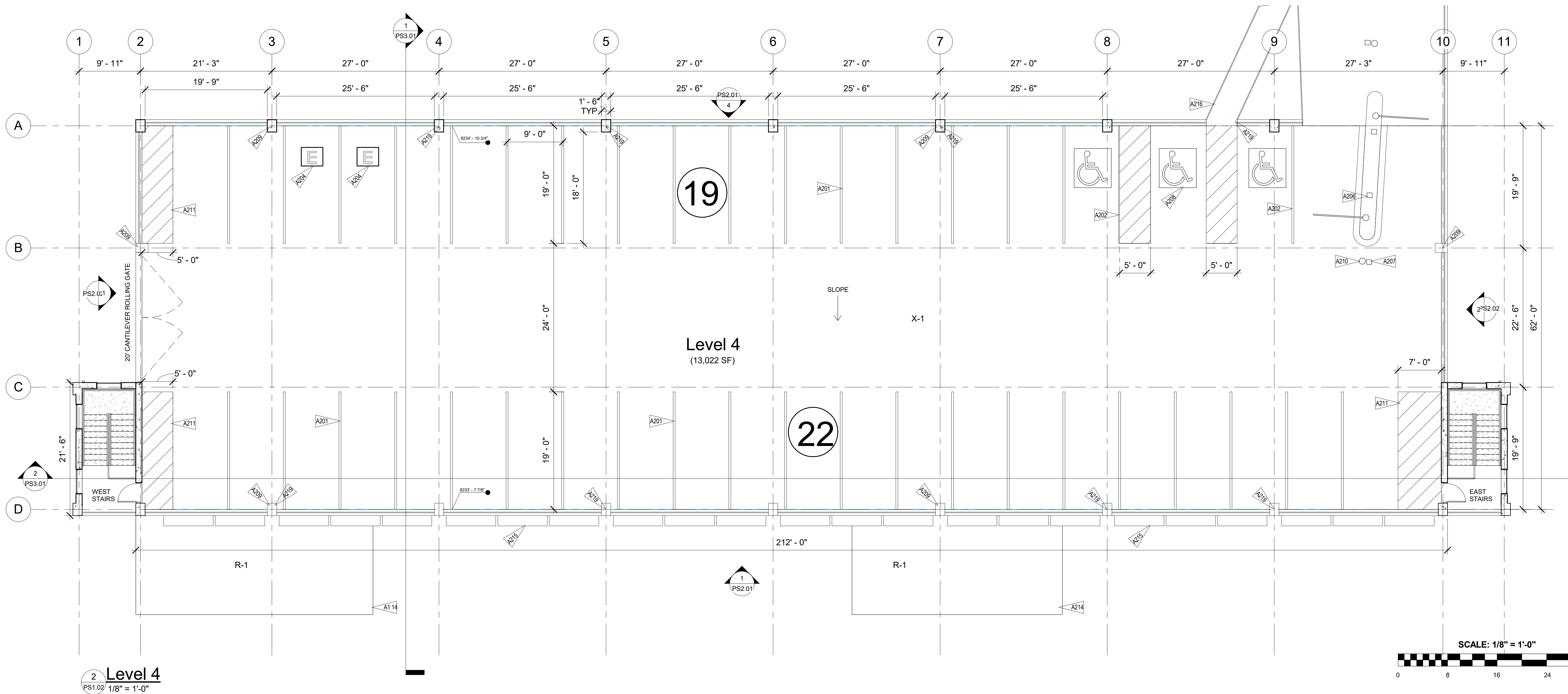
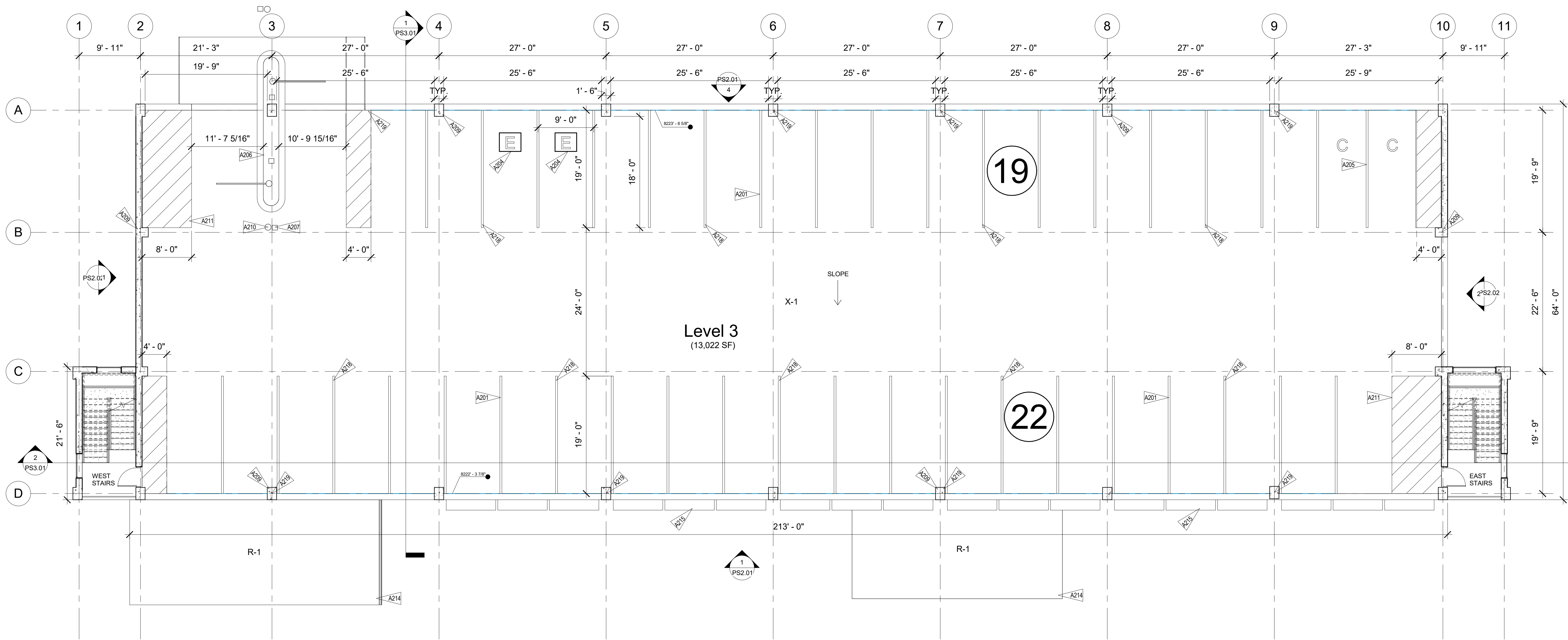
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LEGEND NOTES

FLOOR PLAN GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- IN AREAS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
- ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS RELATE TO USGS ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
- ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.

Tag Notes Legend	
Key Value	Keynote Text
A1 14	
A201	9' x 19' PARKING STALL
A202	ADA PARKING STALL
A204	ELECTRIC CHARGING PARKING
A205	COMPACT PARKING
A206	ELECTRIC ENTRY GATE
A207	ELECTRIC ENTRY GATE RECIEVER
A208	ADA PARKING PAINT
A209	STRUCTURAL COLUMN
A210	TRAFFIC BOLLARD
A211	TRAFFIC STRIPING
A214	ROOF BELOW
A215	PV PANELS
A216	SIDEWALK
A218	ALTERNATE #1 - PROVIDE FOUR (4) EQUALLY SPACED, RAISED DOMES THREE (3) NON-REFLECTIVE DOMES AND ONE (1) REFLECTIVE DOME AT EACH PARKING STRIPE ON ENTIRE PARKING LEVEL
A219	ALTERNATE #2 - STEEL CORNER GUARDS AT ALL COLUMNS
R-1	STANDING SEAM METAL ROOF
X-1	EXPOSED CONCRETE

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd W
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Levels 3 & 4
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

PS1.02

1627.02.1
08/30/17
Revisions

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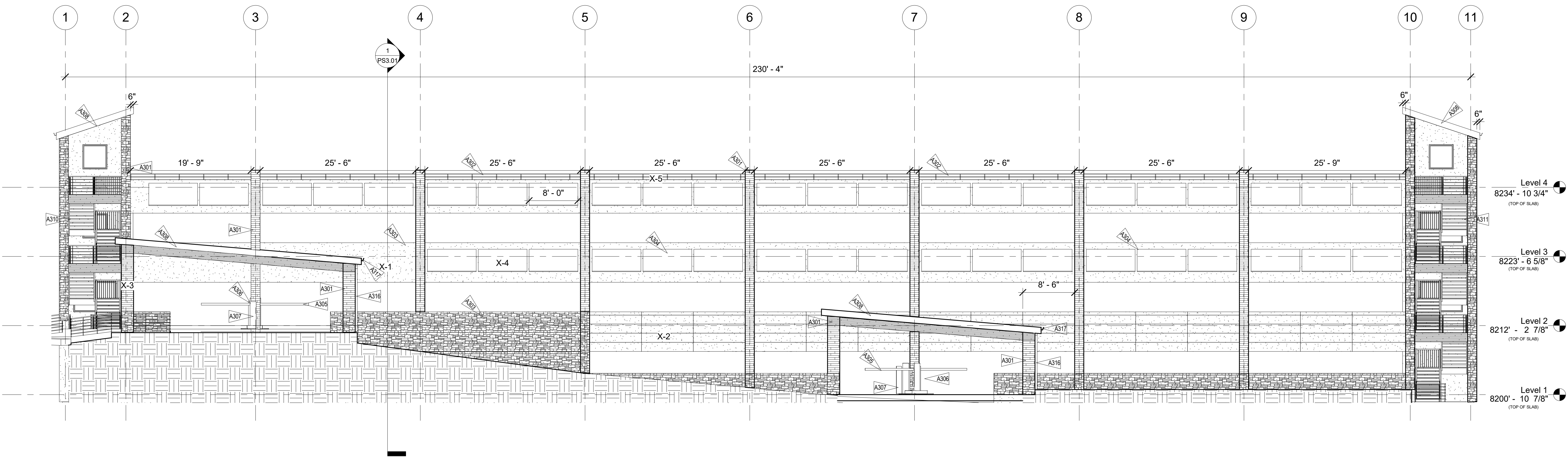
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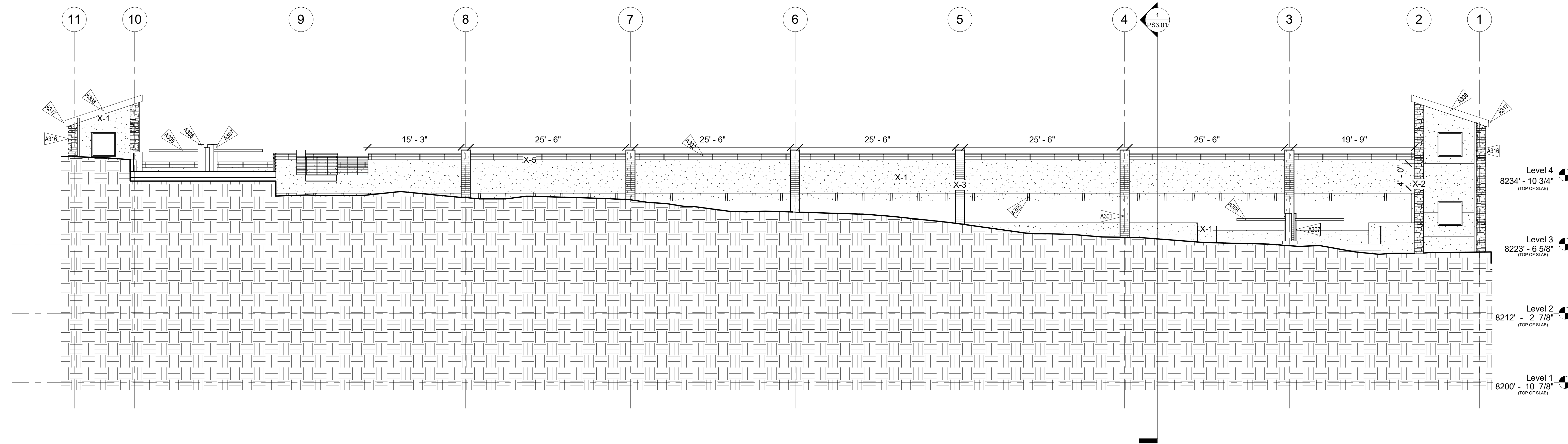
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1 South Elevation
PS2.01 1/8" = 1'-0"



4 North Elevation
PS2.01 1/8" = 1'-0"



LEGEND NOTES

EXTERIOR ELEVATION GENERAL NOTES:

- EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL TAGS" FOR MATERIALS.
- REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
- REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
- PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
- SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT EXISTING ASPHALT AREAS.
- DO NOT SCALE DRAWINGS.

X-1	EXPOSED CONCRETE, NO COLOR ADDED
X-2	DRY STACK LEDGESTONE STONE VENEER IN LOCAL COLORS
X-3	NEW NICHHA FIBER CEMENT BOARD PANEL IN STYLE VINTAGE WOOD, CEDAR, INSTALLED HORIZONTALLY
X-4	STAINLESS STEEL RAILING, POWDER COATED BLACK
X-5	WALL MOUNTED PHOTOVOLTAIC PANELS, MANUFACTURER TO BE DETERMINED

Tag Notes Legend

Key Value	Keynote Text
A301	STRUCTURAL COLUMNS
A302	RAILING
A303	CONCRETE SPANDREL L-BEAM
A304	PV Panel
A305	ELECTRIC ENTRY GATE
A306	ELECTRIC ENTRY GATE RECIEVER
A307	TRAFFIC BOLLARD
A308	STANDING SEAM METAL ROOF
A309	PRECAST DOUBLE TS
A310	WEST TAIRS
A311	EAST STAIRS
A316	STAINLESS STEEL DOWNSPOUT
A317	STAINLESS STEEL GUTTER
X-1	EXPOSED CONCRETE
X-2	STONE VENEER
X-3	NICHHA WOOD VENEER
X-4	PV PANEL
X-5	RAILING

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd W
Vail, CO 81657

Elevations
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

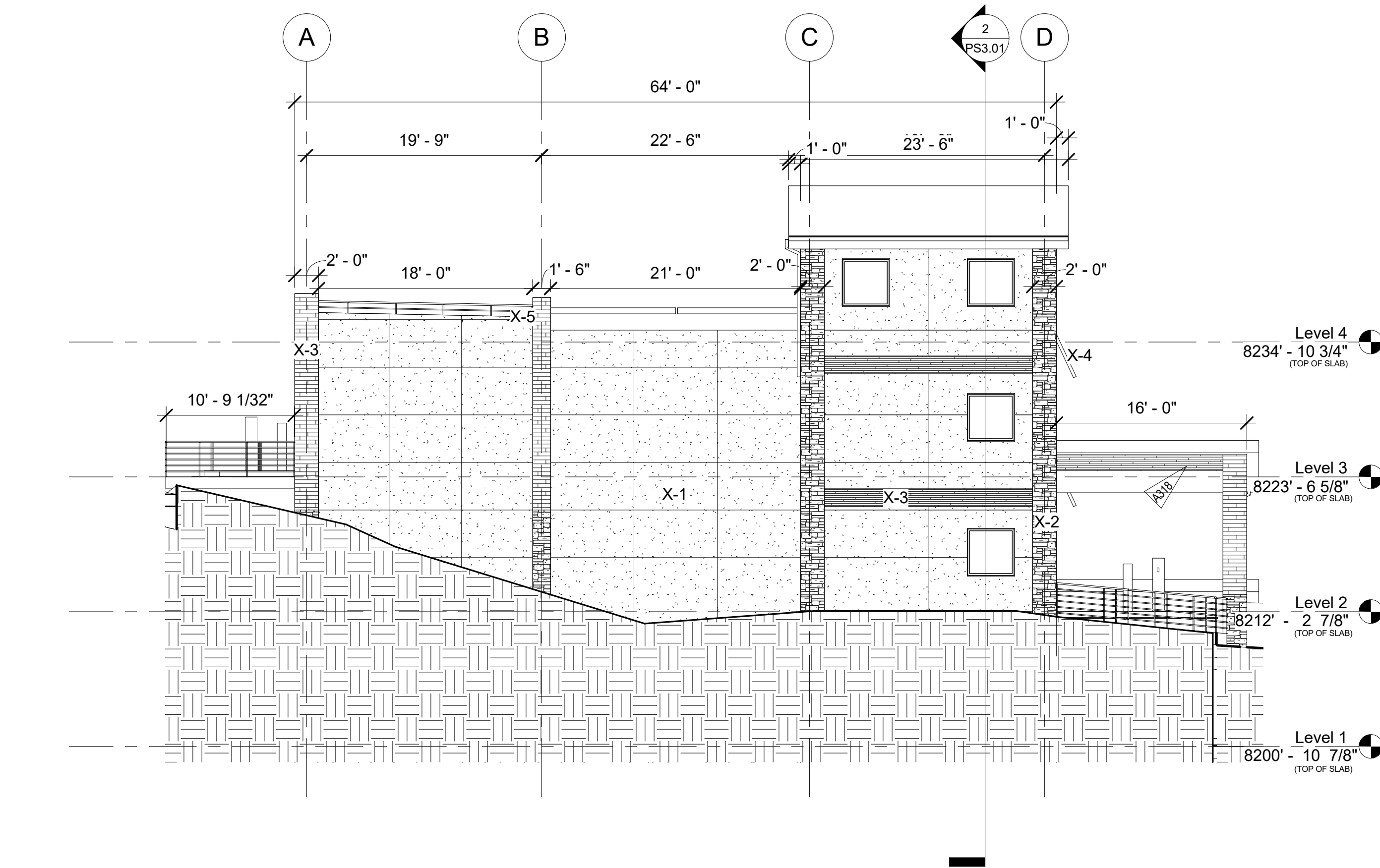
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1627.02.1
07/06/17
Revised

TAB Associates, Inc.
56 Edwards Village Blvd Suite 210
Edwards, CO 81632 970-766-1740

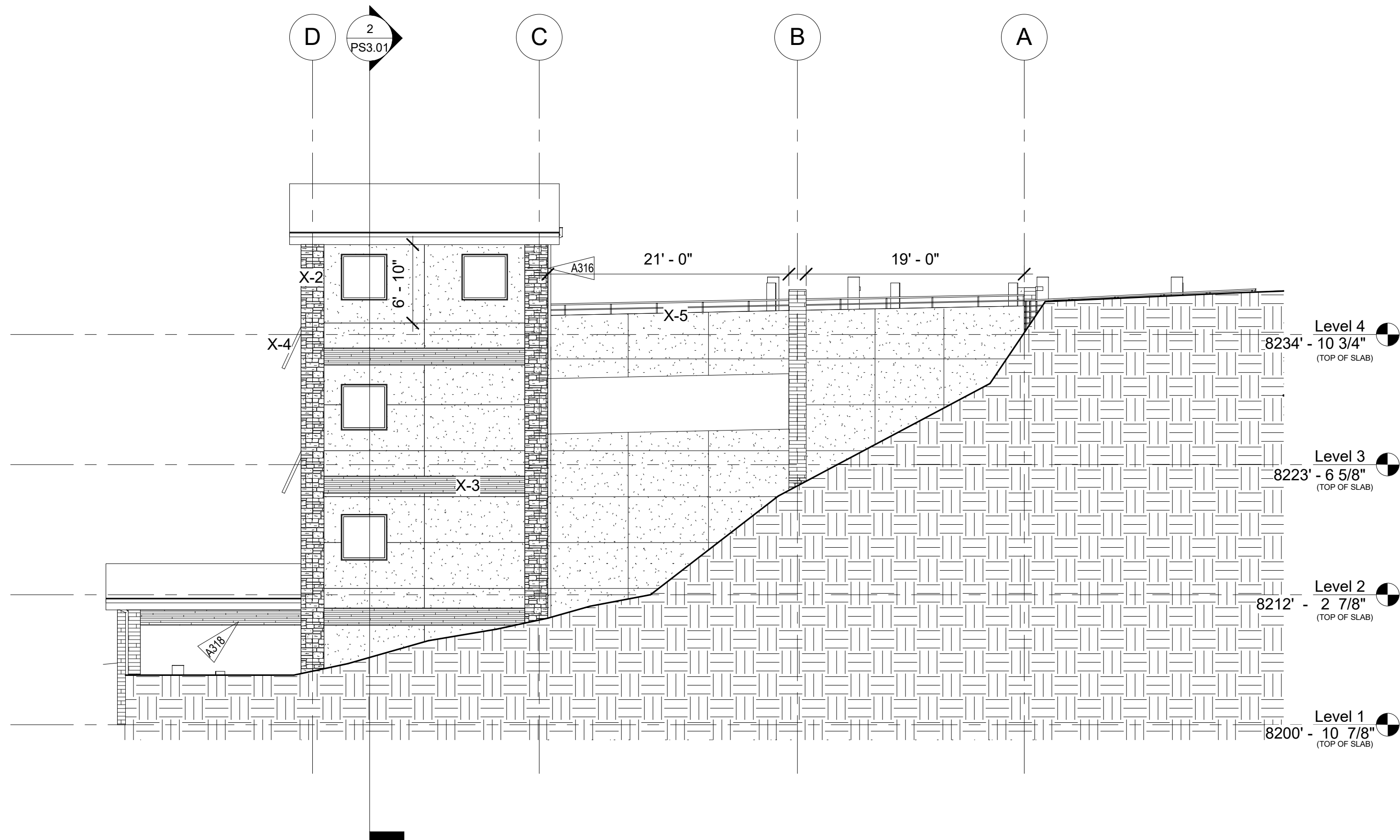


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7/6/2017 12:30:35 PM



1 West Elevation
PS2.02 1/8" = 1'-0"



2 East Elevation
PS2.02 1/8" = 1'-0"



LEGEND NOTES

EXTERIOR ELEVATION GENERAL NOTES:

1. EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL TAGS" FOR MATERIALS.
2. REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
3. REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
5. PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
7. SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT EXISTING ASPHALT AREAS.
9. DO NOT SCALE DRAWINGS.



X-1 EXPOSED CONCRETE, NO COLOR ADDED



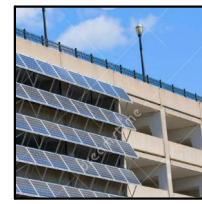
X-2 DRY STACK LEDGESTONE STONE VENEER IN LOCAL COLORS



X-3 NEW NICHHA FIBER CEMENT BOARD PANEL IN STYLE VINTAGE WOOD, CEDAR, INSTALLED HORIZONTALLY



X-4 STAINLESS STEEL RAILING, POWDER COATED BLACK



X-5 WALL MOUNTED PHOTOVOLTAIC PANELS, MANUFACTURER TO BE DETERMINED

Tag Notes Legend	
Key Value	Keynote Text
A316	STAINLESS STEEL DOWNSPOUT
A318	WOOD WRAPPED BEAM
X-1	EXPOSED CONCRETE
X-2	STONE VENEER
X-3	NICHHA WOOD VENEER
X-4	PV PANEL
X-5	RAILING

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd W
Vail, CO 81657

Elevations
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

PS2.02

1627.02.1
07/06/17
Revised

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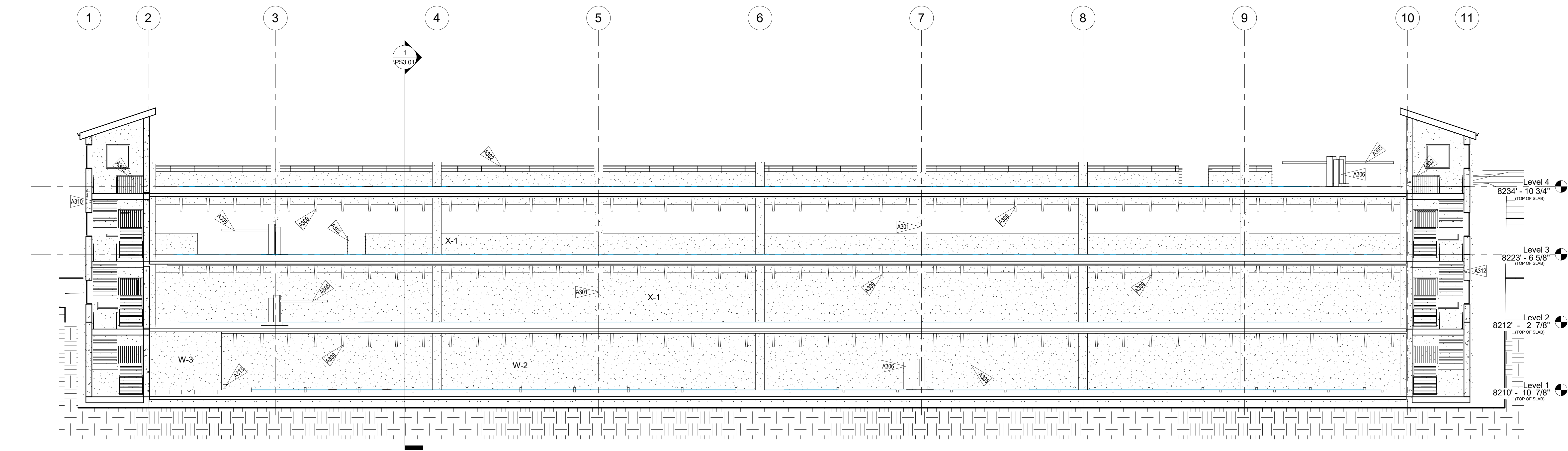


DLR Group

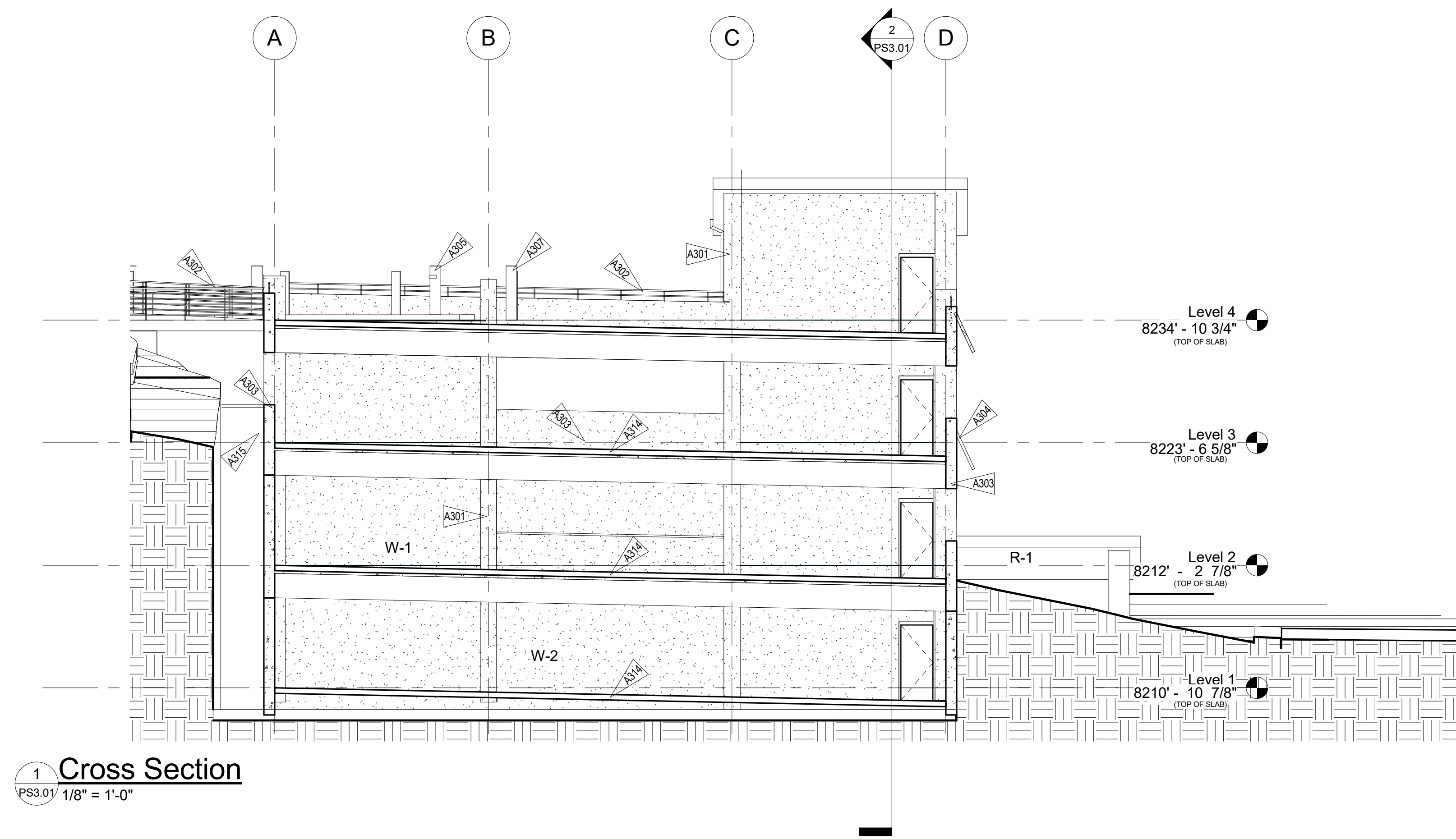
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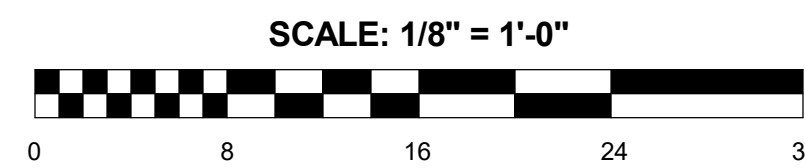
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7/6/2017 9:04:50 AM



2 Longitudinal Section
PS3.01 1/8" = 1'-0"



1 Cross Section
PS3.01 1/8" = 1'-0"



LEGEND NOTES

Tag Notes Legend	
Key Value	Keynote Text
A3 09	
A301	STRUCTURAL COLUMNS
A302	RAILING
A303	CONCRETE SPANDREL L-BEAM
A304	PV Panel
A305	ELECTRIC ENTRY GATE
A306	ELECTRIC ENTRY GATE RECIEVER
A307	TRAFFIC BOLLARD
A309	PRECAST DOUBLE TS
A310	WEST TAIRS
A312	
A313	WATER FOUNTAIN
A314	CONCRETE SLAB
A315	METAL GRATE
R-1	STANDING SEAM METAL ROOF
W-1	
W-2	
W-3	
X-1	EXPOSED CONCRETE

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd W
Vail, CO 81657

Sections
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

PS3.01

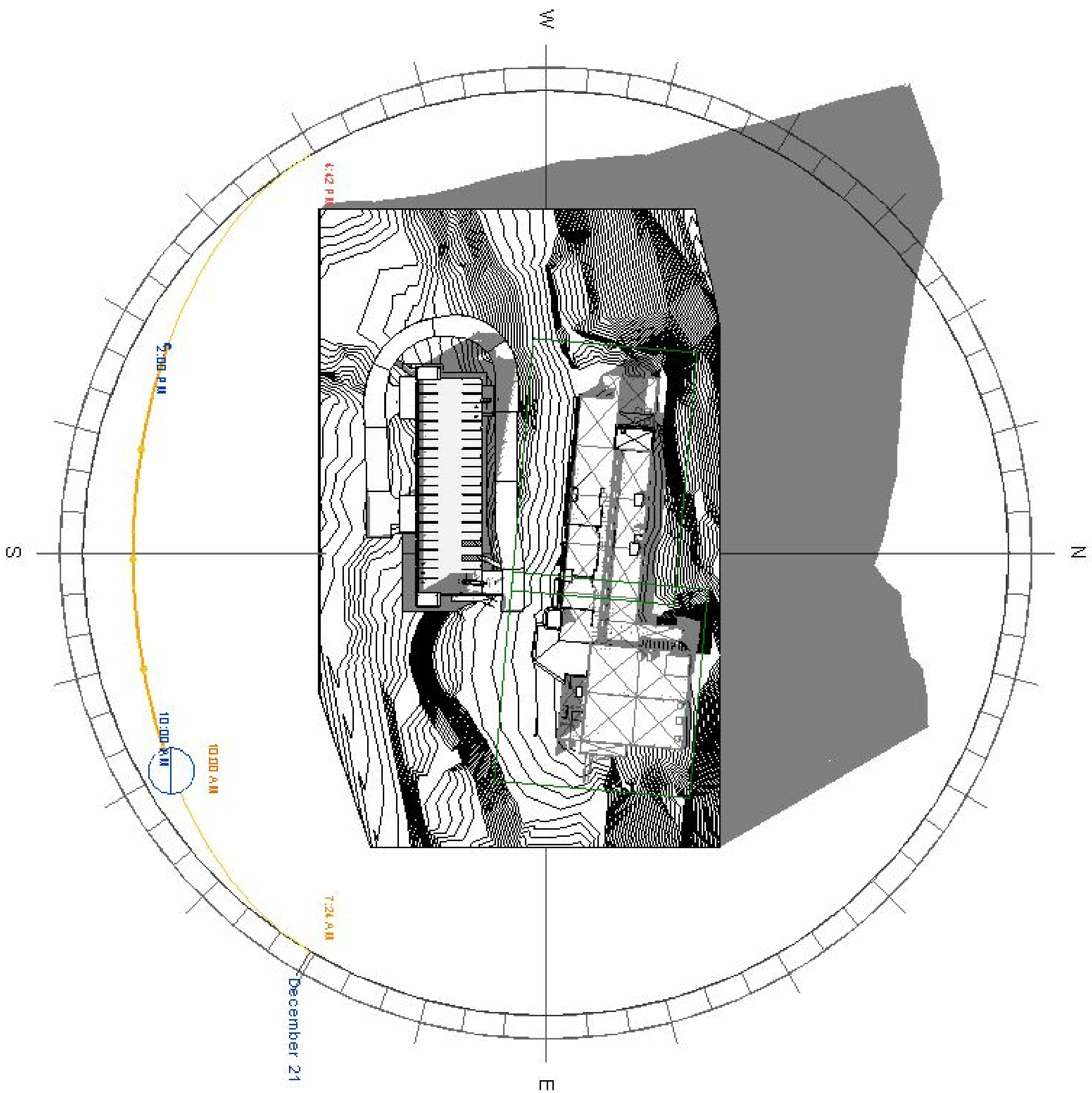
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Edwards, CO 81632 970-766-1740

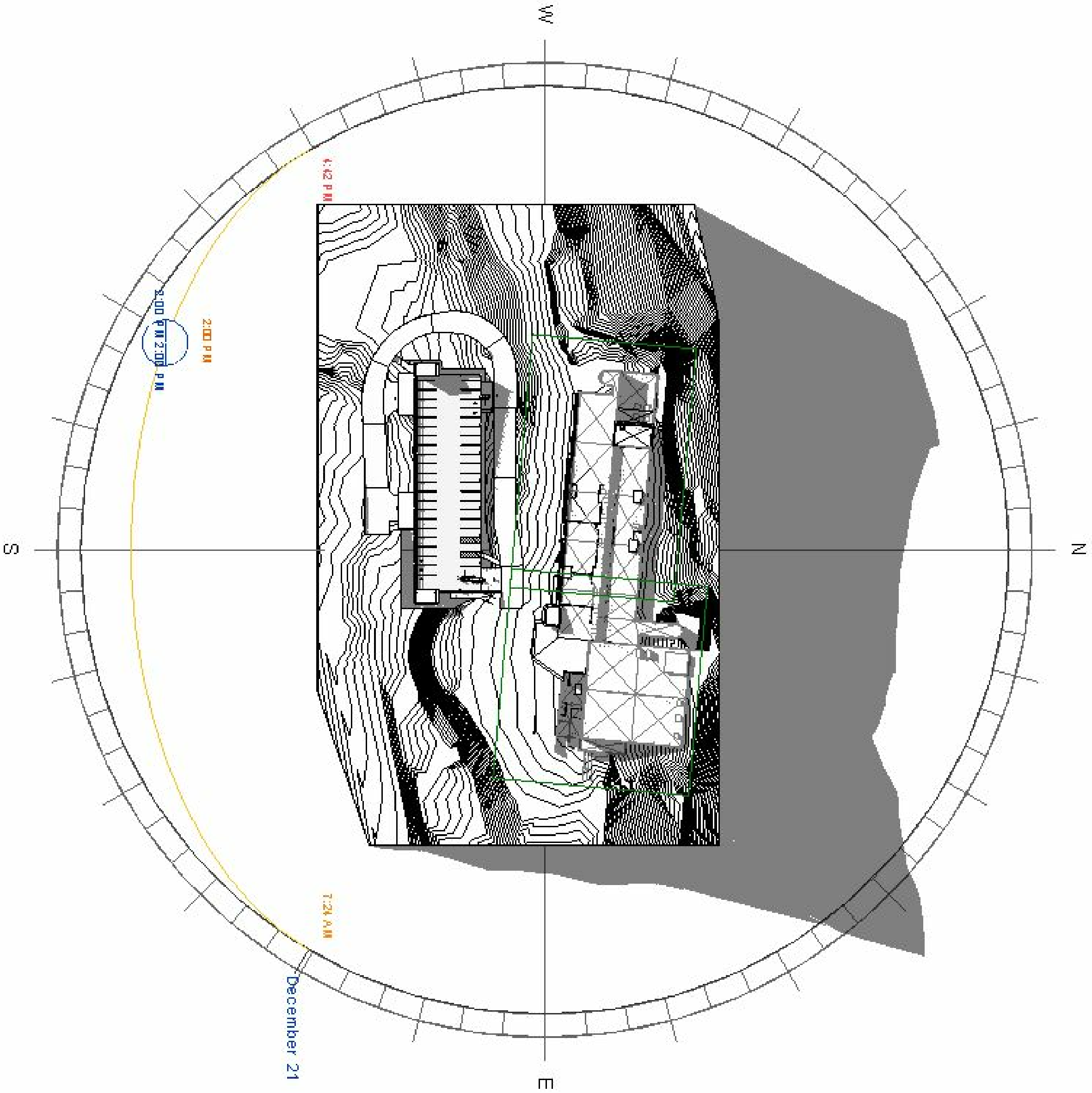


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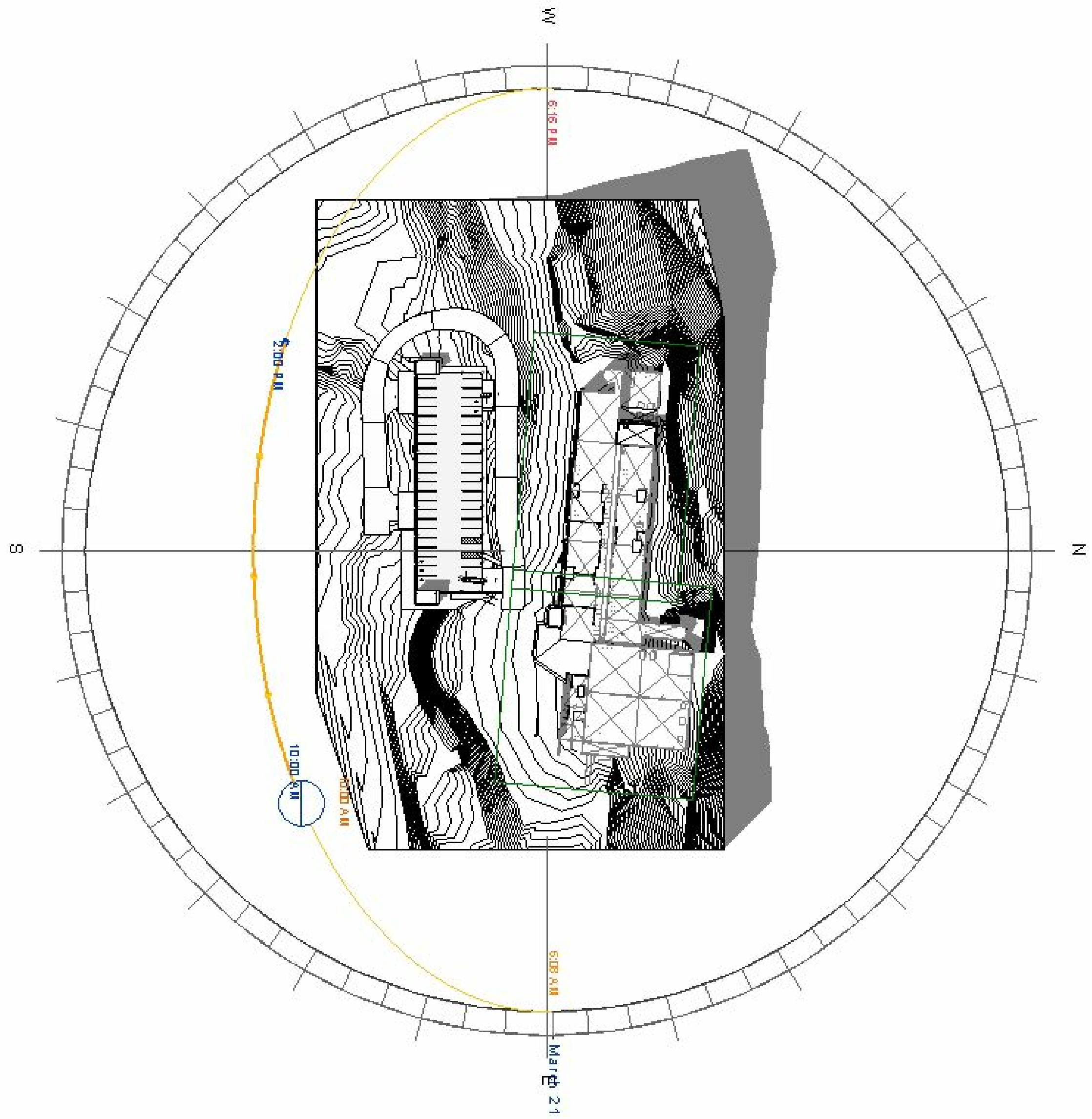
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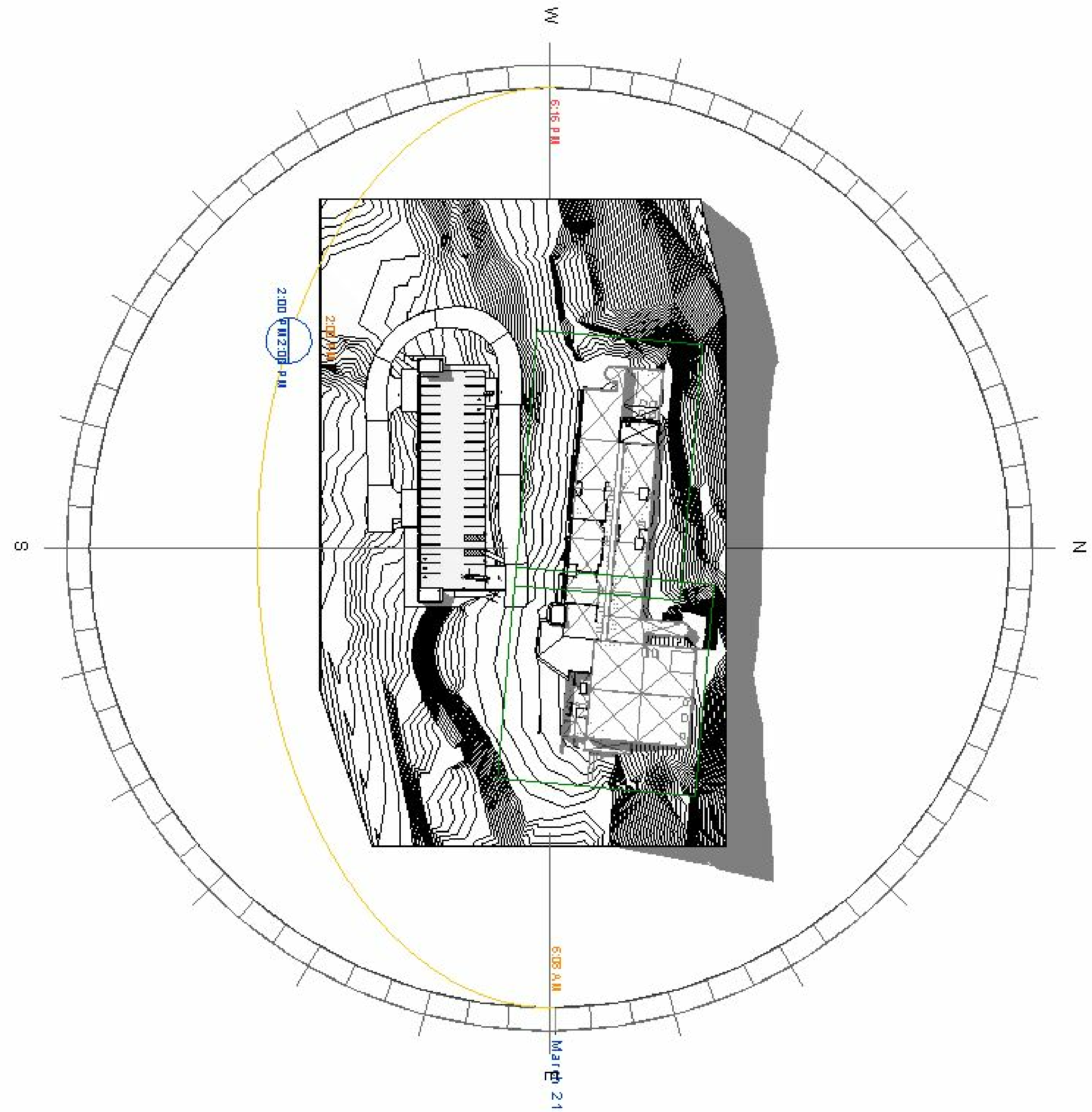
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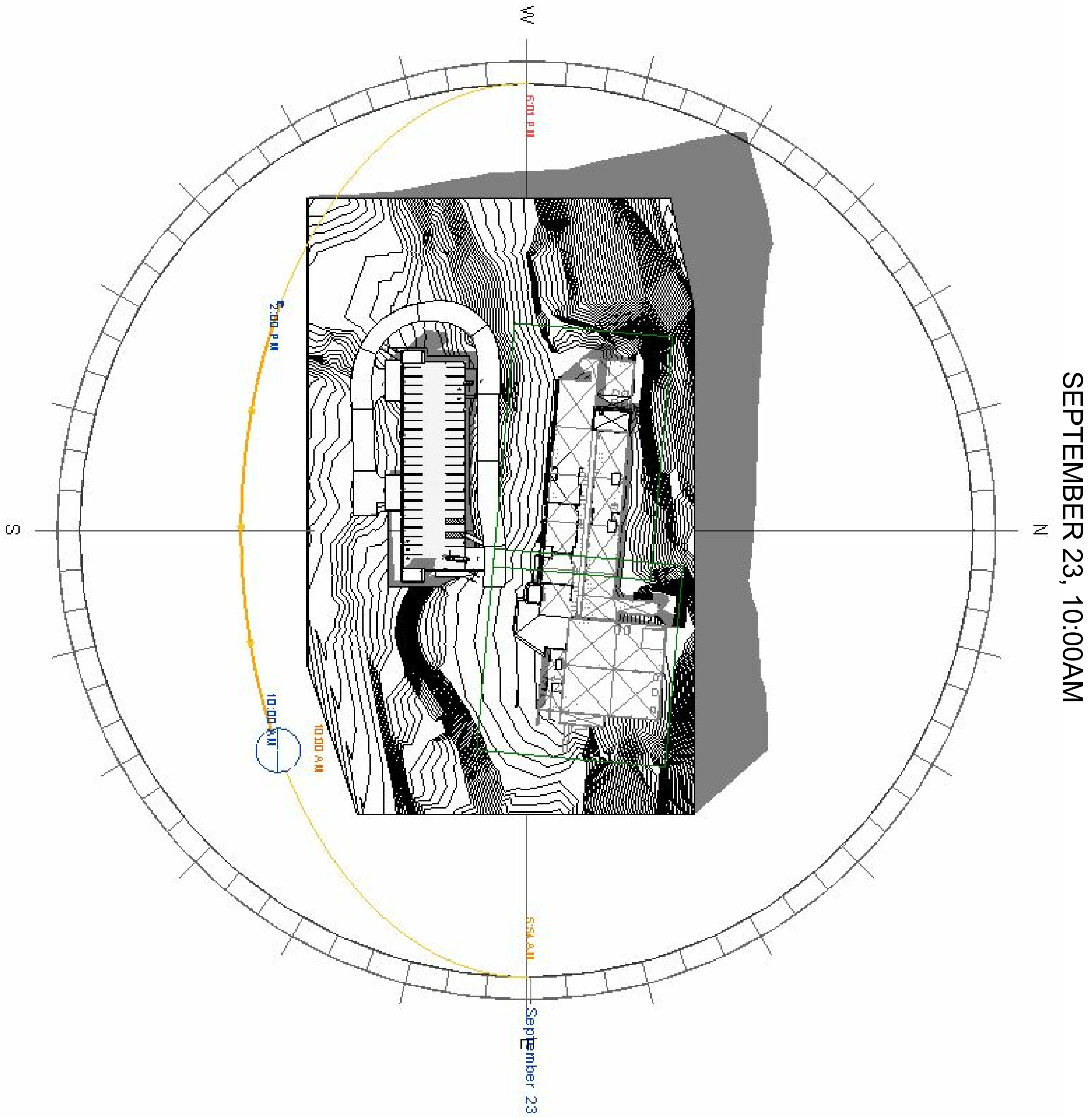
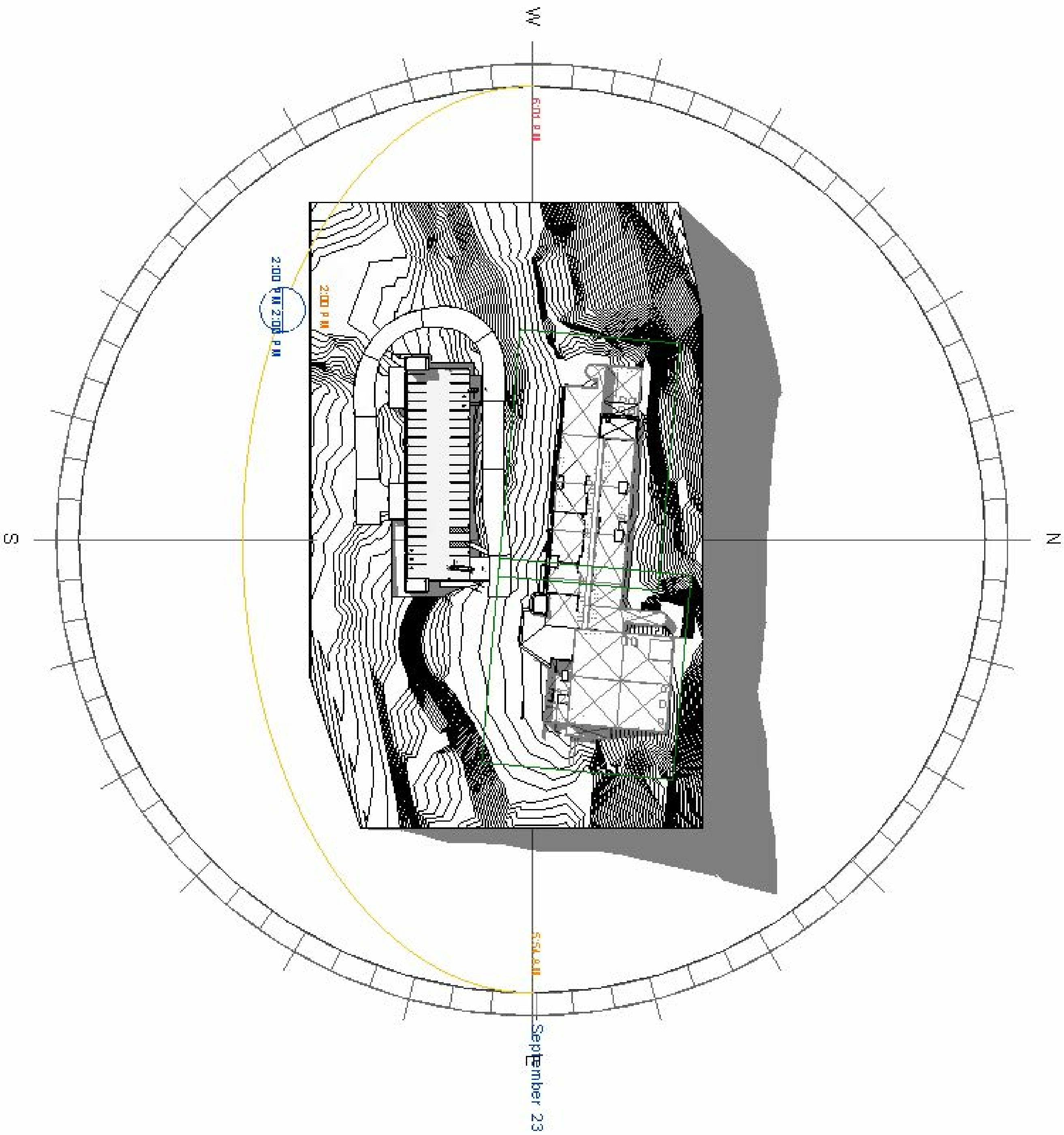


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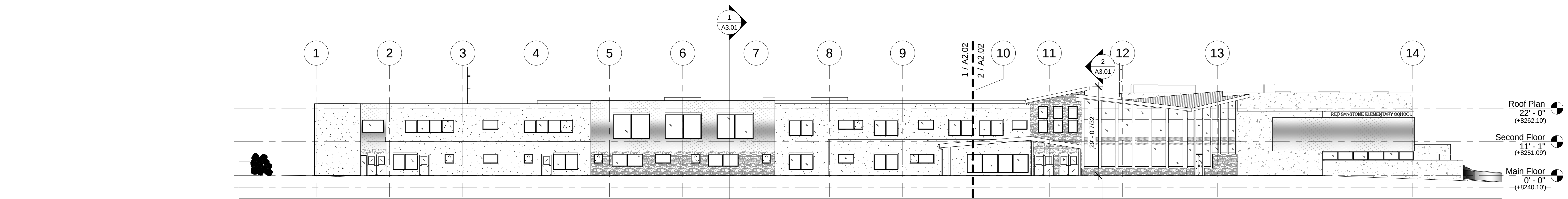


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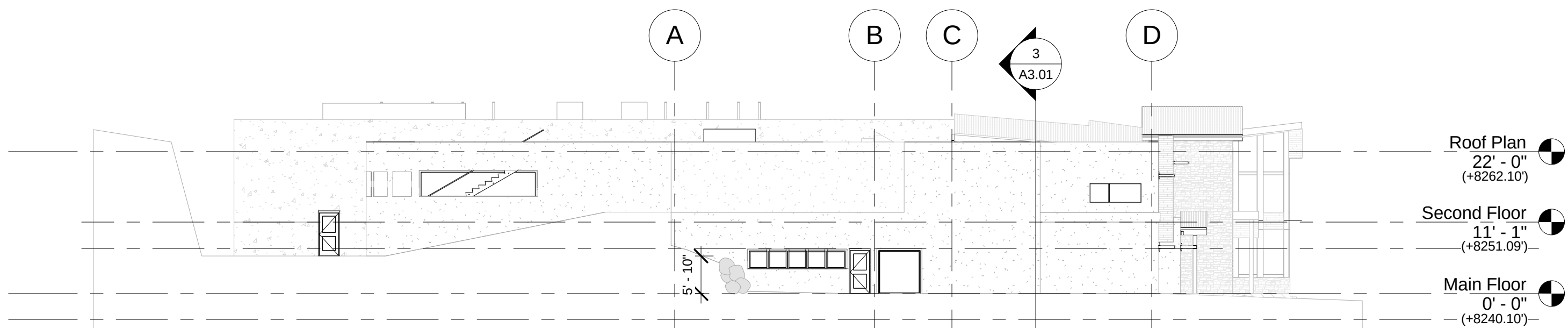




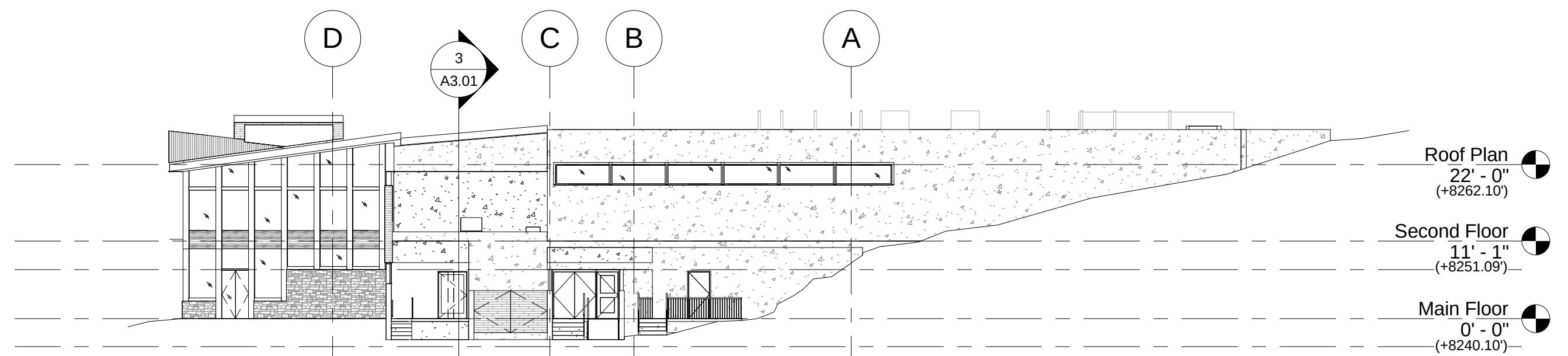
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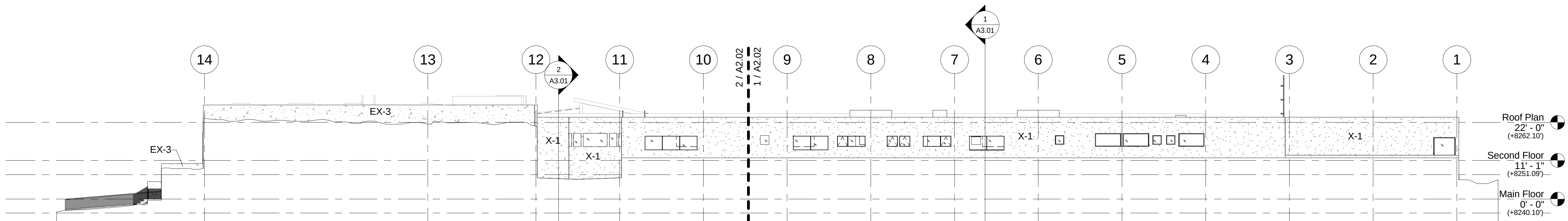
1 South Elevation
A2.01 1/16" = 1'-0"



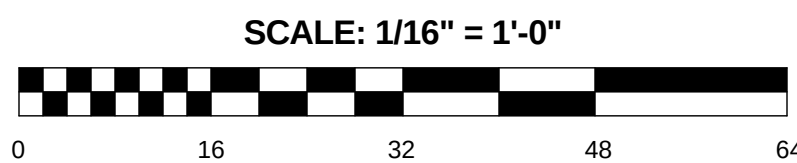
3 West Elevation
A2.01 1/16" = 1'-0"



2 East Elevation
A2.01 1/16" = 1'-0"



4 North Elevation
A2.01 1/16" = 1'-0"



LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL EXTERIOR ELEVATIONS
SOME NOTES MAY NOT APPLY TO THIS SHEET

EXTERIOR ELEVATION GENERAL NOTES:

- EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL LEGEND" FOR MATERIALS.
- REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
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- WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
- DO NOT SCALE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.

EXTERIOR MATERIAL LEGEND:

X-1	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-2	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-3	NEW BOARD FORMED CONCRETE, TO MATCH EXISTING
X-4	NEW ASHLAR PATTERN DRY STACK, SMOOTH FINISH STONE IN LOCAL COLORS
X-5	NEW NICHHA FIBER CEMENT BOARD PANEL IN STYLE VINTAGE WOOD, CEDAR, INSTALLED HORIZONTALLY
X-6	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR COLOR SIMILAR TO AS SHOWN
X-7	NEW GLULAM LAMINATED TIMBER, STAINED
X-8	NEW BLACK ALUMINUM, WINDOW MOUNTED SOLAR SHADES
X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, STAINED

TAG NOTE LEGEND

TAG	NOTE
EX-3	EXISTING BOARD FORMED CONCRETE
X-1	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd West
Vail, CO 81657

Exterior Elevations
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A2.01

1627.02
07/06/17
Revised

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56 Edwards Village Blvd Suite 210
Edwards, CO 81632

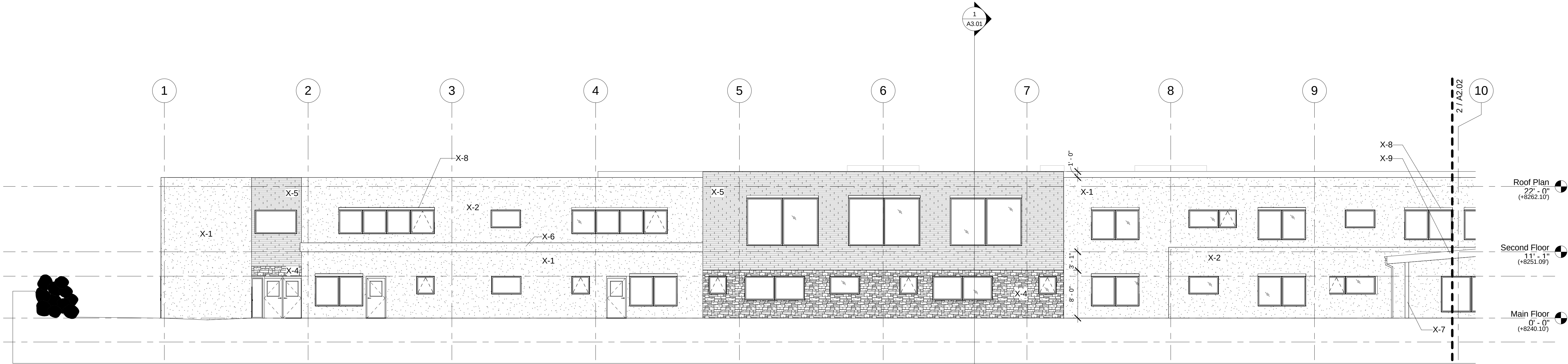
HASELDEN
CONSTRUCTION

DLR Group

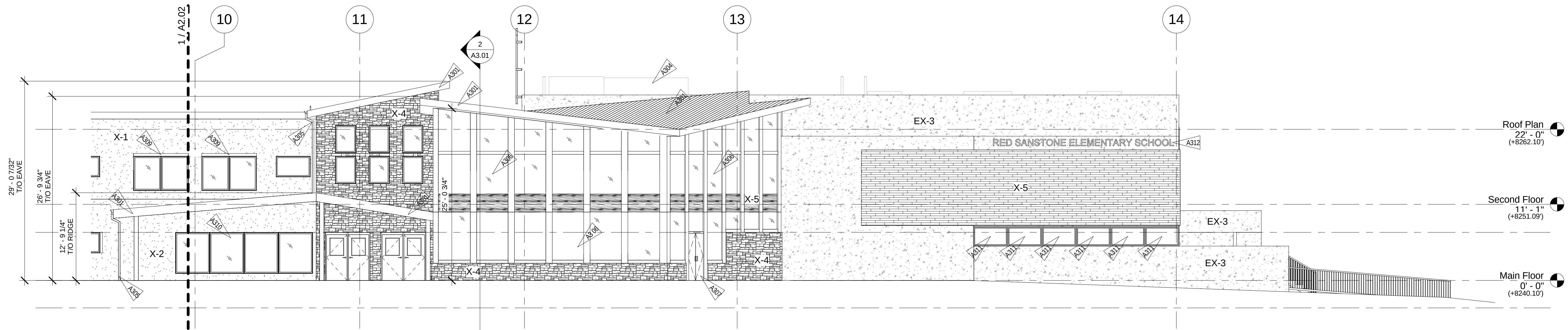
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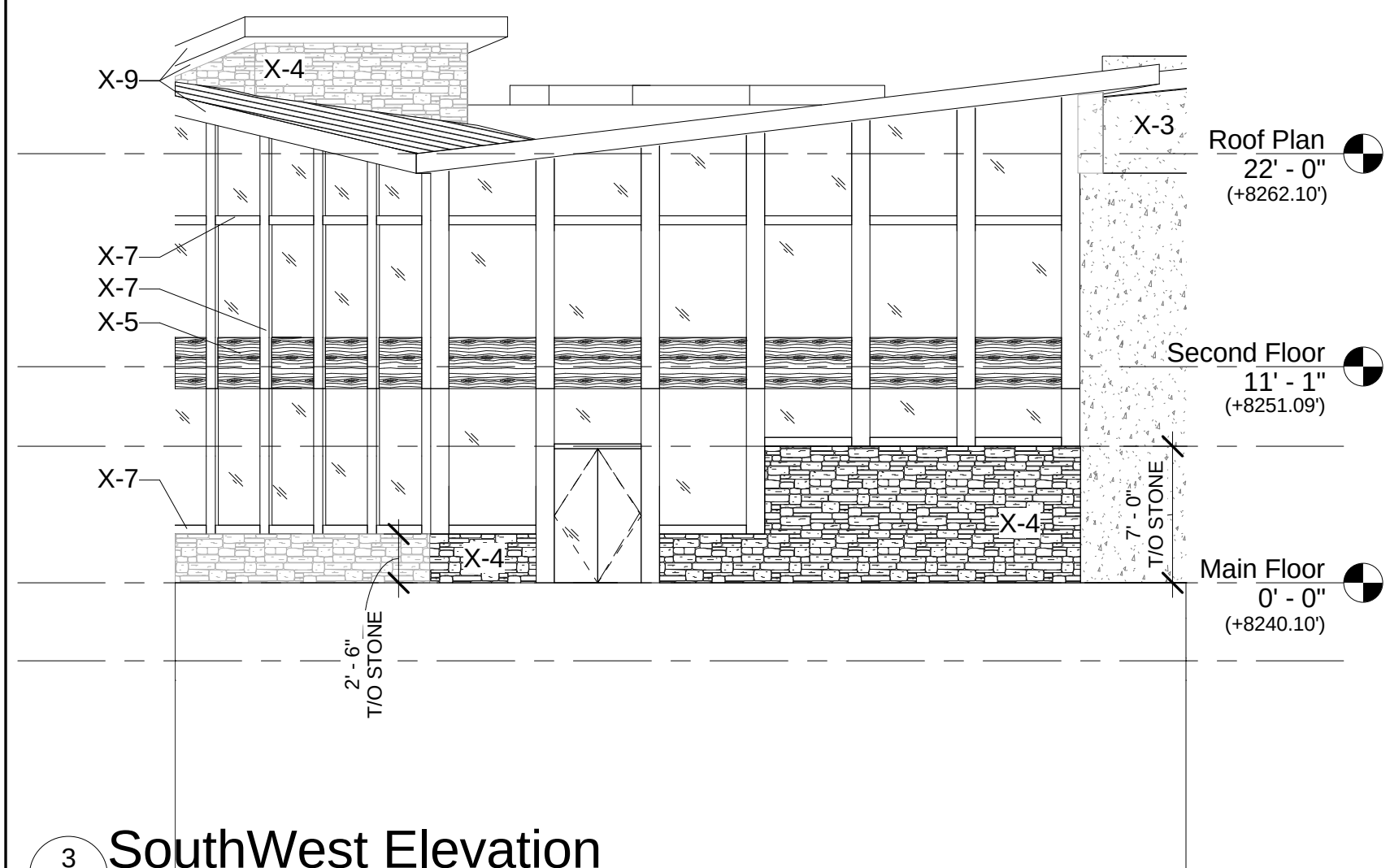
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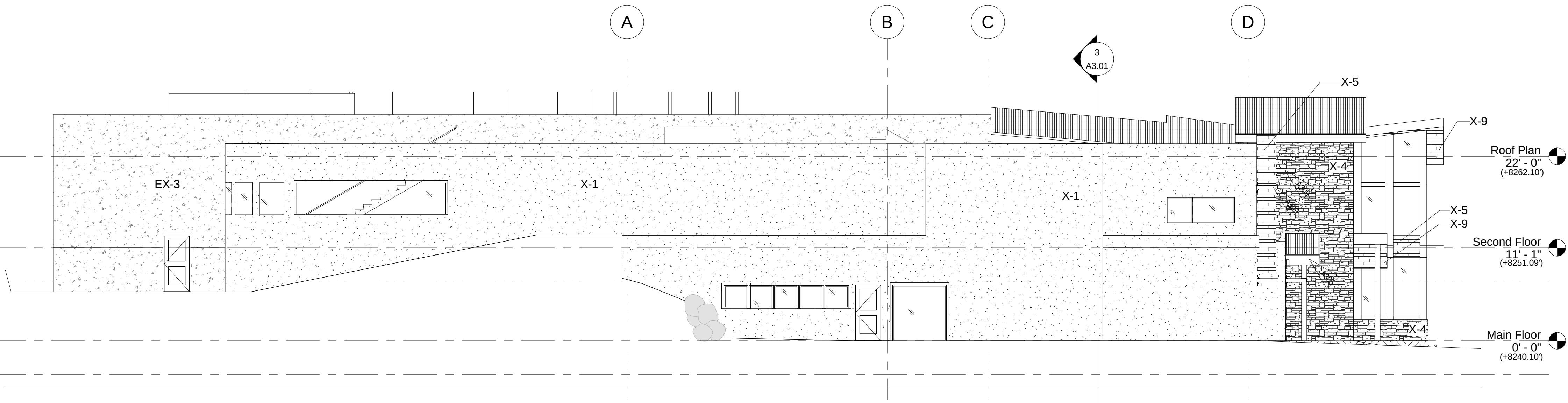
1 South Elevation - Area A
A2.02 1/8" = 1'-0"



2 South Elevation - Area B
A2.02 1/8" = 1'-0"



3 SouthWest Elevation
A2.02 1/8" = 1'-0"



4 Enlarged West Elevation
A2.02 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL OTHER ELEVATIONS
SOME NOTES MAY NOT APPLY TO THIS SHEET

EXTERIOR ELEVATION GENERAL NOTES:

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- DO NOT SCALE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.

EXTERIOR MATERIAL LEGEND:

X-1	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-2	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-3	NEW BOARD FORMED CONCRETE, TO MATCH EXISTING
X-4	NEW ASHLAR PATTERN DRY STACK, SMOOTH FINISH STONE IN LOCAL COLORS
X-5	NEW NICHHA FIBER CEMENT BOARD PANEL IN STYLE VINTAGE WOOD, CEDAR, INSTALLED HORIZONTALLY
X-6	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR COLOR SIMILAR TO AS SHOWN
X-7	NEW GLULAM LAMINATED TIMBER, STAINED
X-8	NEW BLACK ALUMINUM, WINDOW MOUNTED SOLAR SHADES
X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, STAINED

TAG NOTE LEGEND

TAG	NOTE
A3 06	
A301	NEW STANDING METAL SEAM ROOF
A304	EXISTING ATT CELL EQUIPMENT TO REMAIN
A305	INSTALL NEW GUTTER AND DOWNSPOUT
A306	INSTALL NEW STOREFRONT GLAZING, REF FLOOR PLANS
A307	INSTALL NEW DOUBLE DOORS
A309	INSTALL NEW WALL-MOUNTED SOLAR SHADE
A310	INSTALL NEW WINDOWS WITH STUCCO SILL
A311	EXISTING WINDOW TO REMAIN
A312	INSTALL NEW SCHOOL SIGNAGE ON BUIDLING
EX-3	EXISTING BOARD FORMED CONCRETE
X-1	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-2	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-3	NEW BOARD FORMED CONCRETE, TO MATCH EXISTING
X-4	NEW ASHLAR PATTERN SMOOTH FINISH STONE
X-5	NEW NICHHA HORIZONTAL VINTAGE WOOD VENEER PANEL, CEDAR
X-6	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-7	NEW GLULAM LAMINATED TIMBER, STAINED
X-8	NEW BLACK ALUMINUM, WINDOW MOUNTED SOLAR SHADES
X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, STAINED

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd West
Vail, CO 81657

Enlarged Exterior Elevations
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A2.02

1627.02
07/06/17
Revisions

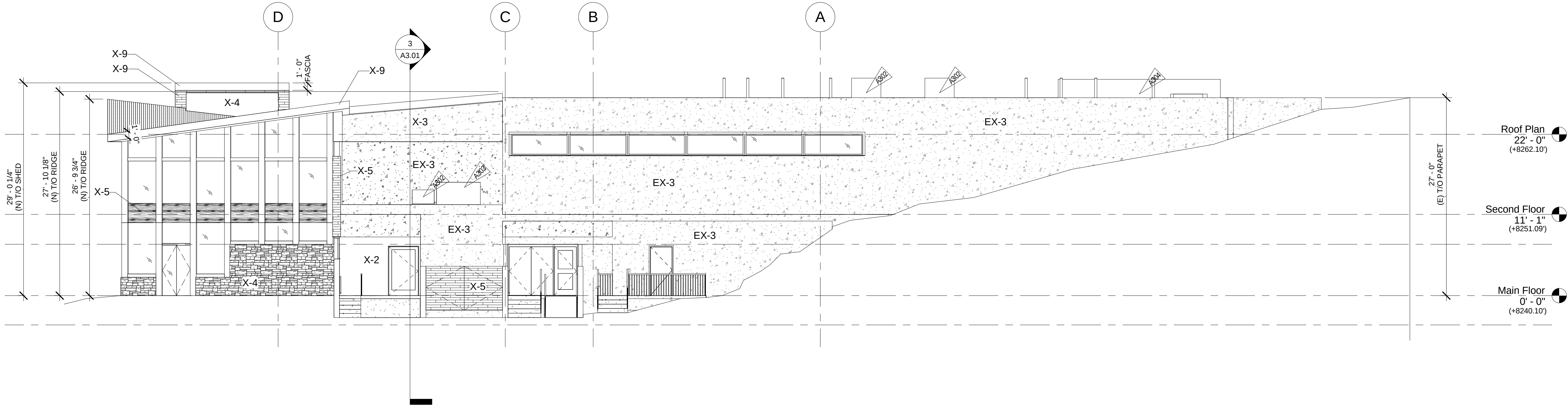
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Edwards, CO 816362

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CONSTRUCTION

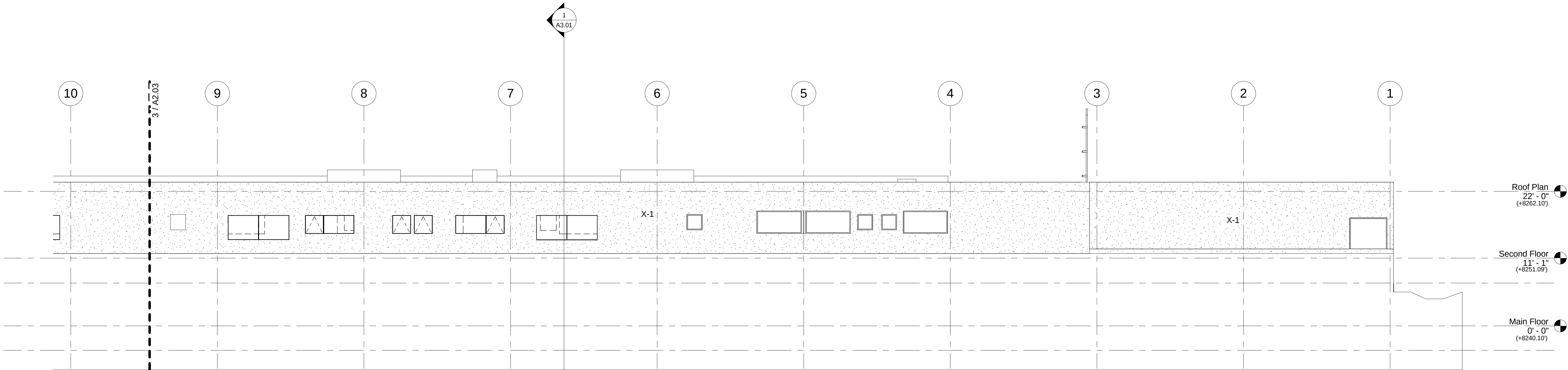
DLR Group

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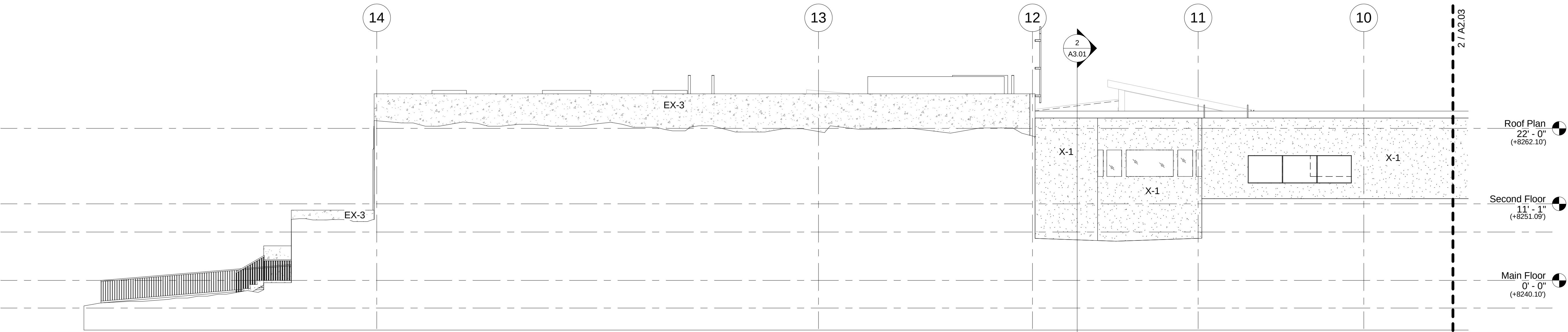
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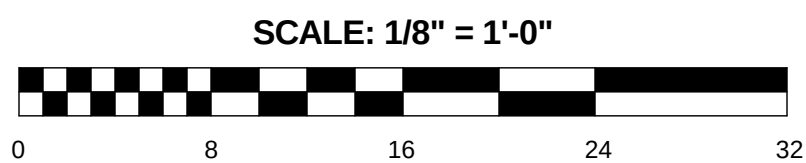
1 Enlarged East Elevation
A2.03 1/8" = 1'-0"



2 North Elevation - Area A
A2.03 1/8" = 1'-0"



3 North Elevation - Area B
A2.03 1/8" = 1'-0"



LEGEND NOTES

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SOME NOTES MAY NOT APPLY TO THIS SHEET

EXTERIOR ELEVATION GENERAL NOTES:

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EXTERIOR MATERIAL LEGEND:

	X-1	NEW STUCCO WITH INTERGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
	X-2	NEW STUCCO WITH INTERGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
	X-3	NEW BOARD FORMED CONCRETE, TO MATCH EXISTING
	X-4	NEW ASHLAR PATTERN DRY STACK, SMOOTH FINISH STONE IN LOCAL COLORS
	X-5	NEW NICHHA FIBER CEMENT BOARD PANEL IN STYLE VINTAGE WOOD, CEDAR. INSTALLED HORIZONTALLY
	X-6	NEW STUCCO WITH INTERGRAL COLOR FINISH COAT, COLOR COLOR SIMILAR TO AS SHOWN
	X-7	NEW GLULAM LAMINATED TIMBER, STAINED
	X-8	NEW BLACK ALUMINUM, WINDOW MOUNTED SOLAR SHADES
	X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, STAINED

TAG NOTE LEGEND

TAG	NOTE
A302	EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT TO REMAIN
A303	NEW ROOF MOUNTED MECHANICAL EQUIPMEN
A304	EXISTING ATT CELL EQUIPMENT TO REMAIN
EX-3	EXISTING BOARD FORMED CONCRETE
X-1	NEW STUCCO WITH INTERGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-2	NEW STUCCO WITH INTERGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-3	NEW BOARD FORMED CONCRETE, TO MATCH EXISTING
X-4	NEW ASHLAR PATTERN SMOOTH FINISH STONE
X-5	NEW NICHHA HORIZONTAL VINTAGE WOOD VENEER PANEL, CEDAR
X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, STAINED

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd West
Vail, CO 81657

Enlarged Exterior Elevations
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A2.03

1627.02

07/06/17

Revised

TAB Associates, Inc.

56 Edwards Village Blvd Suite 210
Edwards, CO 81636

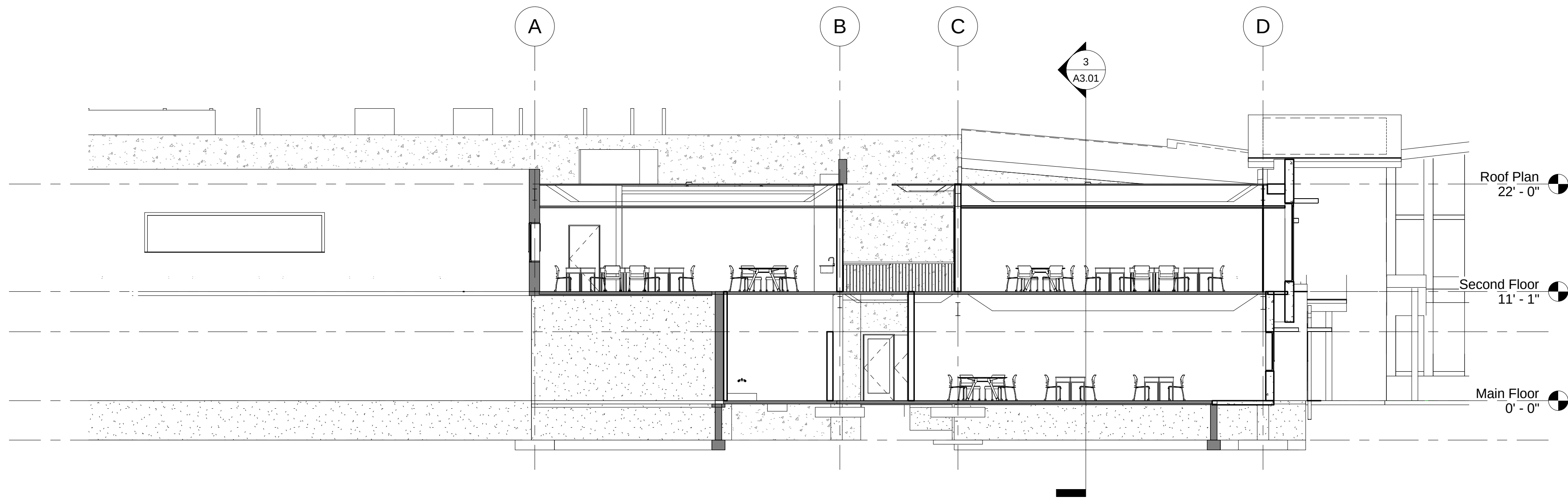
970-766-1740
HASELDEN
CONSTRUCTION

DLR Group

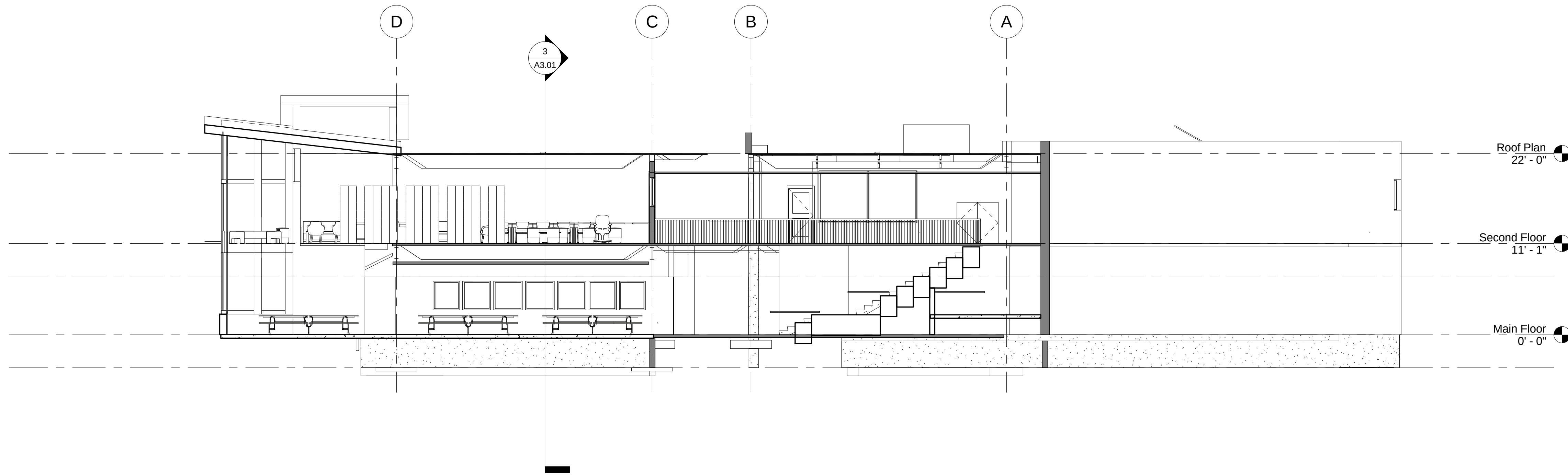
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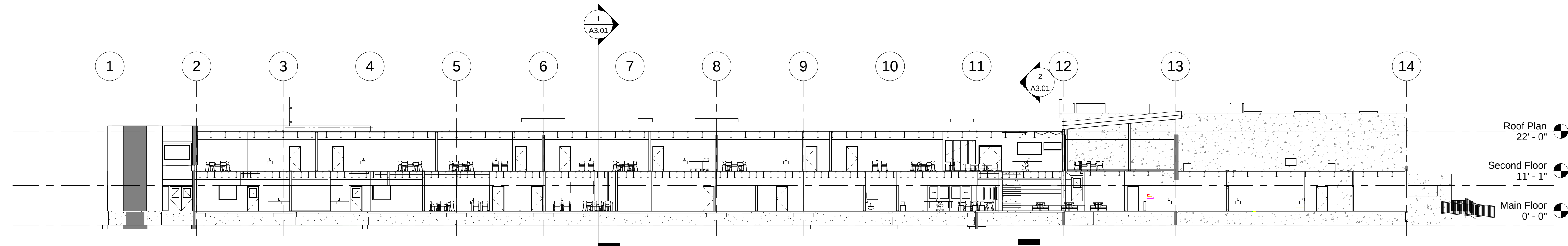
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1 Cross Building Section Section 1
A3.01 1/8" = 1'-0"



2 Cross Building Section 2
A3.01 1/8" = 1'-0"



3 Longitudinal Building Section
A3.01 1/16" = 1'-0"

LEGEND NOTES
LEGEND NOTES ARE COMMON TO ALL
SOME NOTES MAY NOT APPLY TO THIS SHEET

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd West
Vail, CO 81657

Building Sections
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A3.01
1627.02
07/06/17
Revised

TAB Associates, Inc.
56 Edwards Village Blvd Suite 210
Edwards, CO 81636
970-766-1740

HASELDEN
CONSTRUCTION

DLR Group
Architecture Engineering Planning Interiors
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