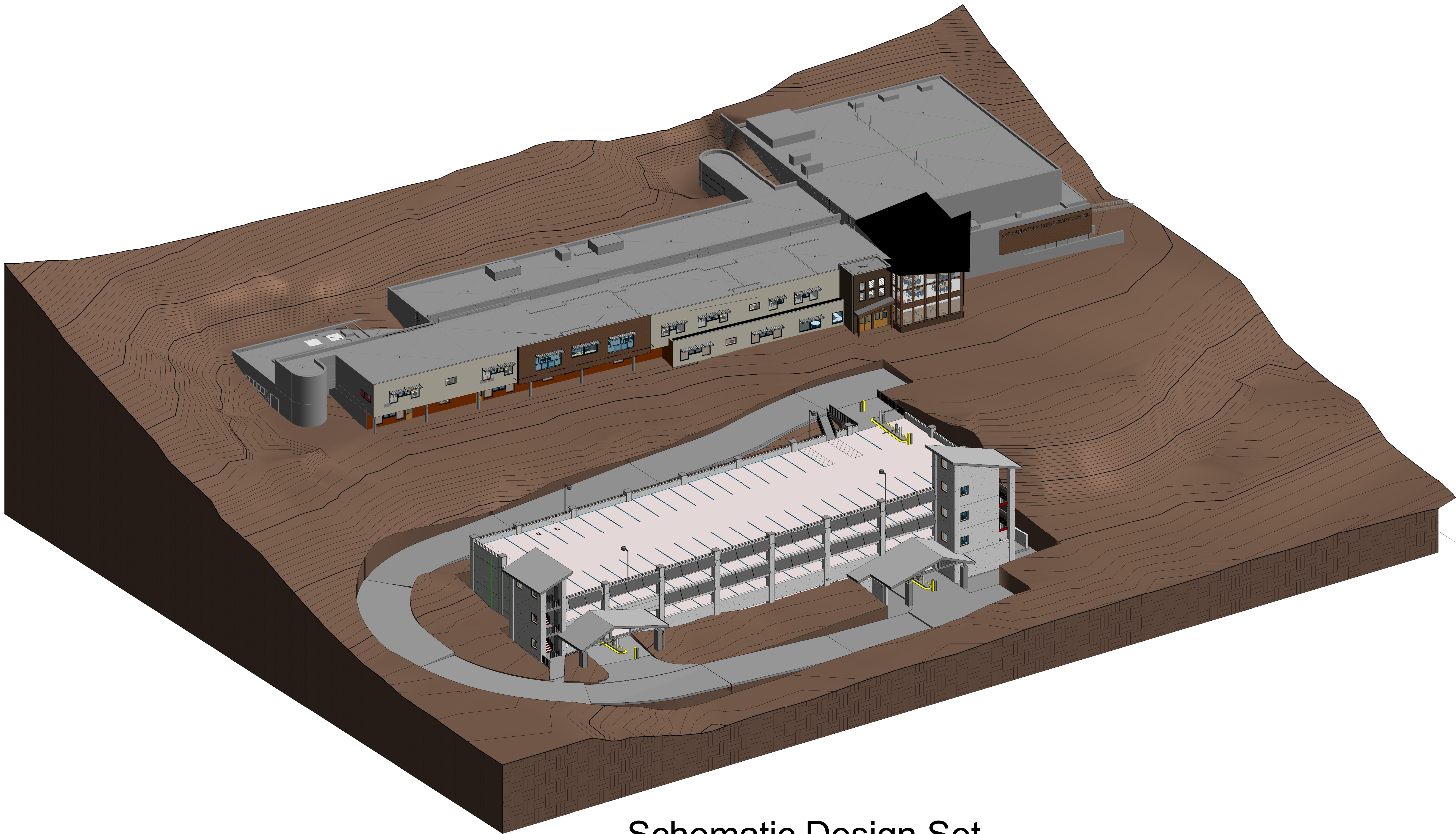
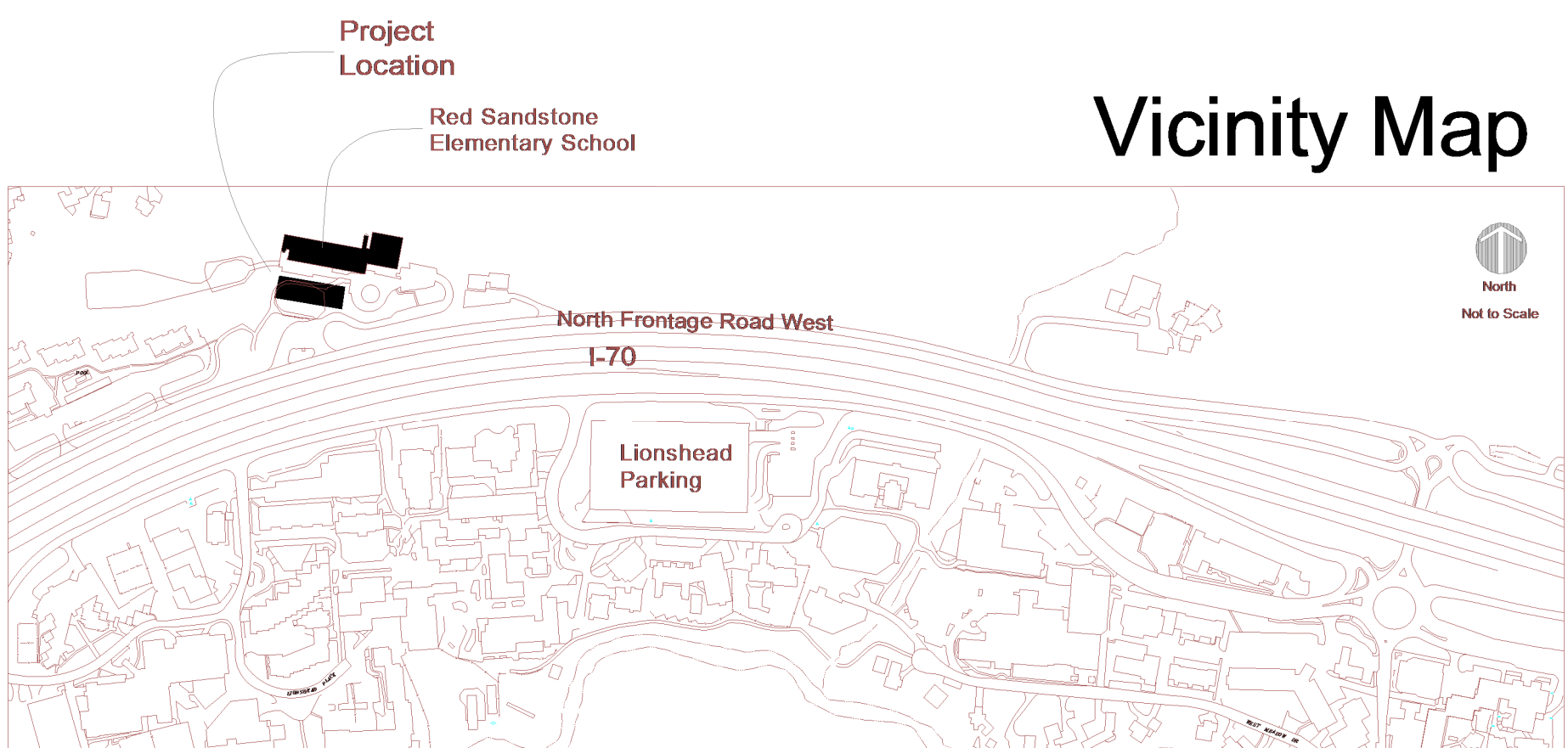


RED SANDSTONE ELEMENTARY SCHOOL RENOVATION + PARKING GARAGE

551 N Frontage Rd W
Vail, CO 81657
Vail Potato Patch Block 2 Lot 8



Schematic Design Set
08/07/2017



OWNER

EAGLE COUNTY SCHOOLS
948 Chambers Avenue / PO Box 740
Eagle, Colorado 81631
t: 970-328-2747
contact: SANDRA MUTCHLER, COO
email: sandra.mutchler@eagleschools.net
MARCI LAIDMAN, PRINCIPAL
email: marcelle.laidman@eagleschools.net

OWNER

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75 S Frontage Rd W
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ARCHITECT

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t: 970-766-1470
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email: greg@tabassociates.com

OWNER'S REPRESENTATIVE

RLH ENGINEERING, INC.
541 East Garden Drive, Unit S Windsor,
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t: 970-686-5695
contact: JEFF CHAMBERLIN
email: jchamberlin@rlhengineering.com

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DavidMarsh@haselden.com

LANDSCAPE ARCHITECT

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Denver, CO 80209
t: 303-949-6108
contact: MARK WILCOX, PLA
email: mwilcox@dhdmsdesign.com

CIVIL ENGINEER

ALPINE ENGINEERING, INC.
34510 U.S. 6, Unit A-9
Edwards, CO 81632
t: 970-926-3373 x255
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email: wadey@alpinecivil.com

MEP ENGINEER

BG BUILDINGWORKS
222 Chapel Place, #201
Avon, CO 81620
t: 970-949-6108
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email: masacconi@bgbuildingworks.com

LAND SURVEYOR

MARTIN ENGINEERING
101 EAGLE RD #5
AVON, CO 81620
t: 970-748-0274
contact: MICHELLE BONFANTI
email: michelle@martinengineering.com

STRUCTURAL ENGINEER

MARTIN/ MARTIN, INC.
0101 Fawcett Road, Suite 260
Avon, CO 81620
t: 970-926-6007
contact: KEVIN HAAS
email: KHaas@martinmartin-mtn.com

Sheet List		
Sheet Name	Sheet Number	Sheet Issue Date
Cover Sheet	G0.0	08/07/17
Existing Site Photos	G0.02	07/06/17
Site Render	G0.04	07/10/17
Topographic Survey	V1.00	07/06/17
Site Illustrative	V2.00	07/06/17
Grading Plan - Parking Garage	C1.0	08/07/17
Site Profiles	C1.1	08/07/17
Storm Sewer Plan	C2.0	08/07/17
Utility Plan	C3.0	08/07/17
Erosion Control Plan	C4.0	08/07/17
Existing Site Lighting	C5.0	08/07/17
Proposed Site Lighting	C5.1	08/07/17
Overall Layout Plan	L1.0	08/07/17
Overall Landscape Plan	L2.0	08/07/17
Landscape Details	L2.1	08/07/17
Overall Hydrozone Map	L4.0	08/07/17
Levels 1 & 2	PS1.01	08/07/17
Levels 3 & 4	PS1.02	08/07/17
Roof Plan	PS1.03	08/07/17
Elevations	PS2.01	08/07/17
Elevations	PS2.02	08/07/17
Sections	PS3.01	08/07/17
Sections - Potential	PS3.02	08/07/17
Site Section - Future Development	PS9.00	08/07/17
Solar Analysis	PS9.01	08/07/17
Solar Analysis	PS9.02	08/07/17
Solar Analysis	PS9.03	08/07/17
Main Level Overall Demolition Floor Plan	D1.01	08/07/17
Main Level Area A Demolition Floor Plan	D1.02	08/07/17
Main Level Area B Demolition Floor Plan	D1.03	08/07/17
Second Level Overall Demolition Floor Plan	D1.04	08/07/17
Second Level Area A Demolition Floor Plan	D1.05	08/07/17
Second Level Area B Demolition Floor Plan	D1.06	08/07/17
Overall Demolition Roof Plan	D1.07	08/07/17
Demolition Area A Roof Plan	D1.08	08/07/17
Demolition Area B Roof Plan	D1.09	08/07/17
Demolition Exterior Elevations	D2.01	08/07/17
Demolition Enlarged Exterior Elevations	D2.02	08/07/17
Demolition Enlarged Exterior Elevation	D2.03	08/07/17
Main Level Overall Floor Plan	A1.01	08/07/17
Main Level Area A Floor Plan	A1.02	08/07/17
Main Level Area B Floor Plan	A1.03	08/07/17
Second Level Overall Floor Plan	A1.04	08/07/17
Second Level Area A Floor Plan	A1.05	08/07/17
Second Level Area B Floor Plan	A1.06	08/07/17
Overall Roof Plan	A1.07	08/07/17
Area A Roof Plan	A1.08	08/07/17
Area B Roof Plan	A1.09	08/07/17
Exterior Elevations	A2.01	08/07/17
Enlarged Exterior Elevations	A2.02	08/07/17
Enlarged Exterior Elevations	A2.03	08/07/17
3D Images	A10.01	08/04/17

SCHEMATIC
DESIGN SET

STAMP
551 N Frontage Rd W,
Vail, CO 81657

Cover Sheet
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

G0.0
1627.02.1
08/07/17
Revised

TAB Associates, Inc.
56 Edwards Village Blvd Suite 210
Edwards, CO 81632
970-766-1740

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VIEW OF EXISTING BUILDING LOOKING NORTHWEST



VIEW FROM EXISTING BUS STOP



VIEW OF EXISTING CIRCLE DRIVE



EXISTING BUILDING FROM ENTRY DRIVE



EXISTING BUILDING LOOKING WEST



NORTH SIDE OF EXISTING BUILDING



VIEW OF EXISTING BUILDING FROM PEDESTRIAN BRIDGE



VIEW OF EXISTING BUILDING LOOKING EAST



WEST SIDE OF EXISTING BUILDING

SCHEMATIC
DESIGN SET

ENGINEER'S STAMP

551 N Frontage Rd West
Vail, CO 81657

Existing Site Photos
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

G0.02
1627.02
06/27/17
Revised

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Edwards, CO 81632 970-766-1740

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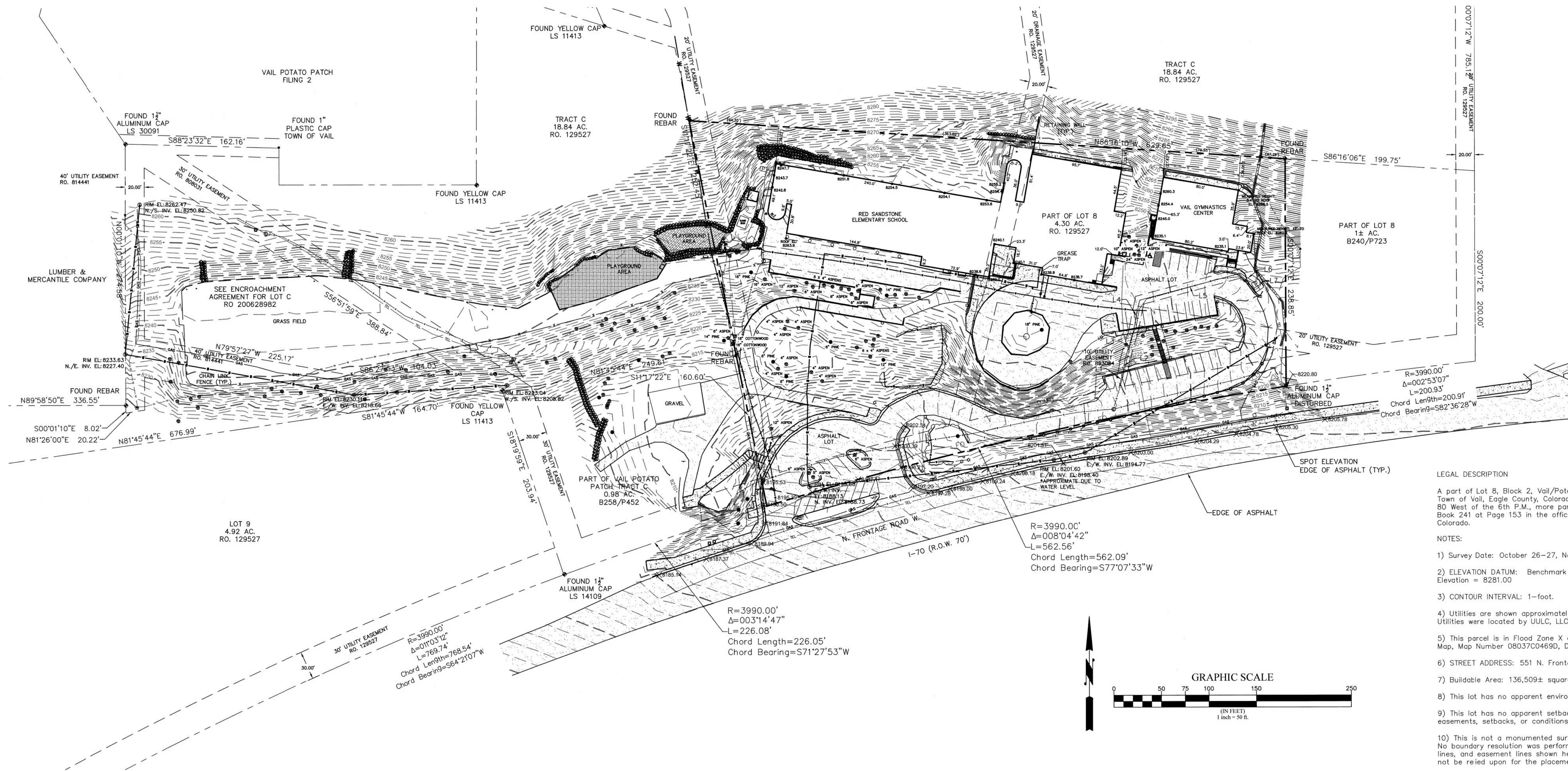
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TOPOGRAPHIC MAP

Red Sandstone Elementary School

Section 17, Township 5 South, Range 80
County of Eagle, State of Colorado



LEGAL DESCRIPTION

A part of Lot 8, Block 2, Vail/Potato Patch, according to the Final Plat thereof, Town of Vail, Eagle County, Colorado, situated in Section 6, Township 5 South, Range 80 West of the 6th P.M., more particularly described in Book 233 at Page 629 and in Book 241 at Page 153 in the office of the Eagle County Clerk and Recorder, Eagle, Colorado.

NOTES:

- 1) Survey Date: October 26-27, November 2, 4, 8-10 2016 and June 27, 2017.
- 2) ELEVATION DATUM: Benchmark NGS Monument Spraddle
Elevation = 8281.00
- 3) CONTOUR INTERVAL: 1-foot.
- 4) Utilities are shown approximately and should be field verified prior to excavation. Utilities were located by UULC, LLC and ERWSD.
- 5) This parcel is in Flood Zone X according to Panel 0469D, Flood Insurance Rate Map, Map Number 08037C0469D, December 2007.
- 6) STREET ADDRESS: 551 N. Frontage Road W., Vail, CO (POSTED)
- 7) Buildable Area: 136,509± square feet per Town of Vail Zoning Map.
- 8) This lot has no apparent environmental hazards.
- 9) This lot has no apparent setbacks per plat. This lot may be subject to additional easements, setbacks, or conditions per the guidelines of the Town of Vail.
- 10) This is not a monumented survey, Land Survey Plat, or Improvement Survey plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.
- 11) Title Commitment No. RND50045929 was provided by Land Title with the effective date 01-30-2017.

I, Thomas S. Marcin, a Professional Land Surveyor in the State of Colorado, hereby certify that this TOPOGRAPHIC SURVEY was done by me or under my direct supervision, and that it was performed using the standard care and practice used in the area at the time of the survey. The Notes hereon are a part of this certification.

Thomas S. Marcin, PLS 37999
Colorado Professional
Land Surveyor



TOPOGRAPHIC MAP Red Sandstone Elementary School County of Eagle, State of Colorado		MARCIN ENGINEERING LLC	
DRAWN BY: MLB	DATE: 07/03/17	P.O. BOX 1062 AVON, CO 81620 (970) 748-0274 (970) 748-9021 FAX	
CHECKED BY: PJQ	DRAWING NO.: RSS TOPO		
JOB NO: 16042	SHEET: 1 OF 1		

Line Table		
Line #	Direction	Length
L1	N15° 29' 41"E	16.98
L2	N08° 20' 11"E	12.25
L3	N16° 40' 04"E	30.92
L4	N11° 27' 55"E	33.99
L5	N75° 09' 38"E	109.79
L6	S57° 36' 14"E	18.80
L7	S33° 05' 06"E	8.62

LEGEND:	LEGEND:	LEGEND:
FOUND IRON ROD & ALUM. CAP PLS XXXX	WATER MANHOLE	WATER LINE
DECIDUOUS TREE	WATER VALVE	SANITARY SEWER LINE
CONIFEROUS TREE	CURBSTOP	GAS LINE
LIGHT POLE	CLEANOUT	ELECTRIC LINE
FIRE HYDRANT	FIRE HYDRANT	FO LINE
GROUND LIGHT	STORM MANHOLE	TV LINE
TELEPHONE PEDESTAL	IRRIGATION BOX	TEL LINE
TELEPHONE MANHOLE	GAS METER	EDGE OF GRASS FIELD
ELECTRIC MANHOLE	GAS VALVE	EDGE OF ASPHALT
ELECTRIC TRANSFORMER	SIGN	ASPHALT
TV PEDESTAL	EDGE OF VEGETATION	CONCRETE
SEWER MANHOLE	BOULDER WALL	WOODCHIPS - PLAYGROUND
		SHREDDED TIRES - PLAYGROUND

NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

SCHEMATIC
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STAMP

551 N Frontage Rd West
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Topographic Survey
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

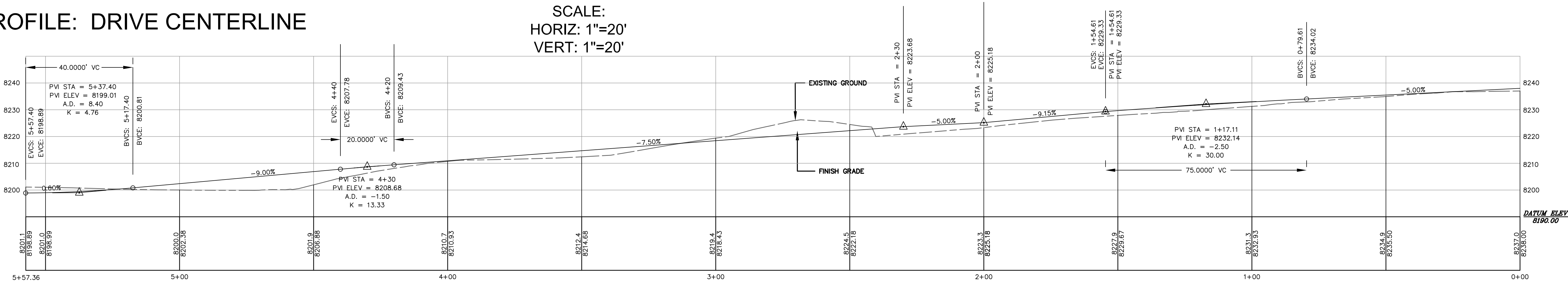
V1.00
1627.02
07/03/17
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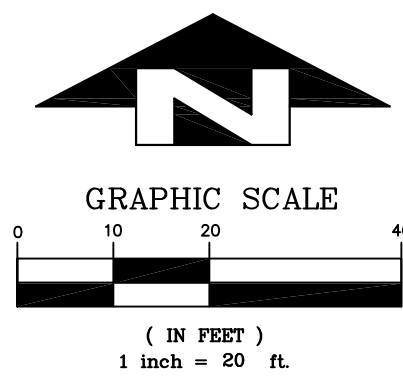
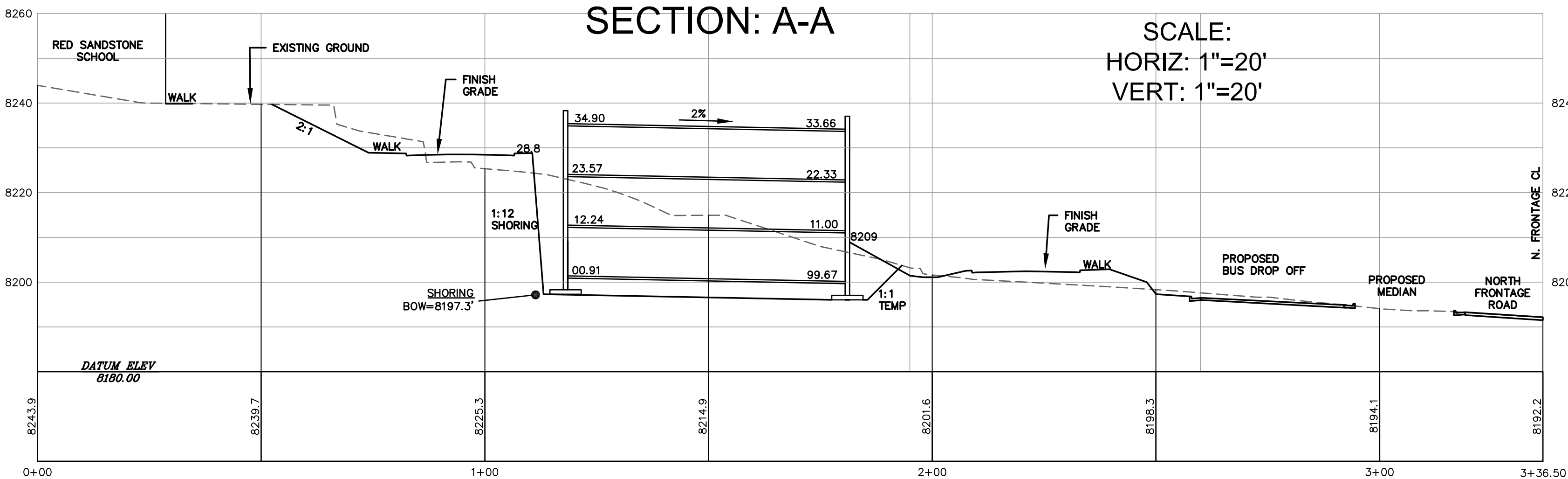
PROFILE: DRIVE CENTERLINE

SCALE:
HORIZ: 1"=20'
VERT: 1"=20'



SECTION: A-A

SCALE:
HORIZ: 1"=20'
VERT: 1"=20'



PRELIMINARY PLAN
August 25, 2017
NOT FOR CONSTRUCTION

SCHEMATIC
DESIGN SET

ENGINEER'S STAMP

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Vail, CO 81657

Site Profiles
Red Sandstone Elementary School Renovation
and Parking Garage- Vail Potato Patch Block2 Lot 8

C1.1

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August 25, 2017
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