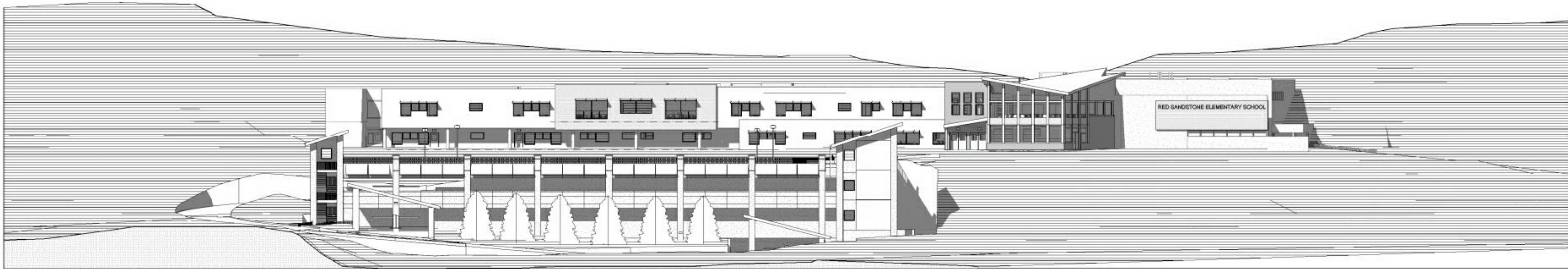


SOUTH ELEVATION SOLAR ANALYSIS FALL 10:00AM



SOUTH ELEVATION SOLAR ANALYSIS SPRING 2:00PM



SOUTH ELEVATION SOLAR ANALYSIS WINTER 10:00AM

SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd W,
Vail, CO 81657

Solar Analysis
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

PS9.03
1/27/2017
08/21/17
Revised

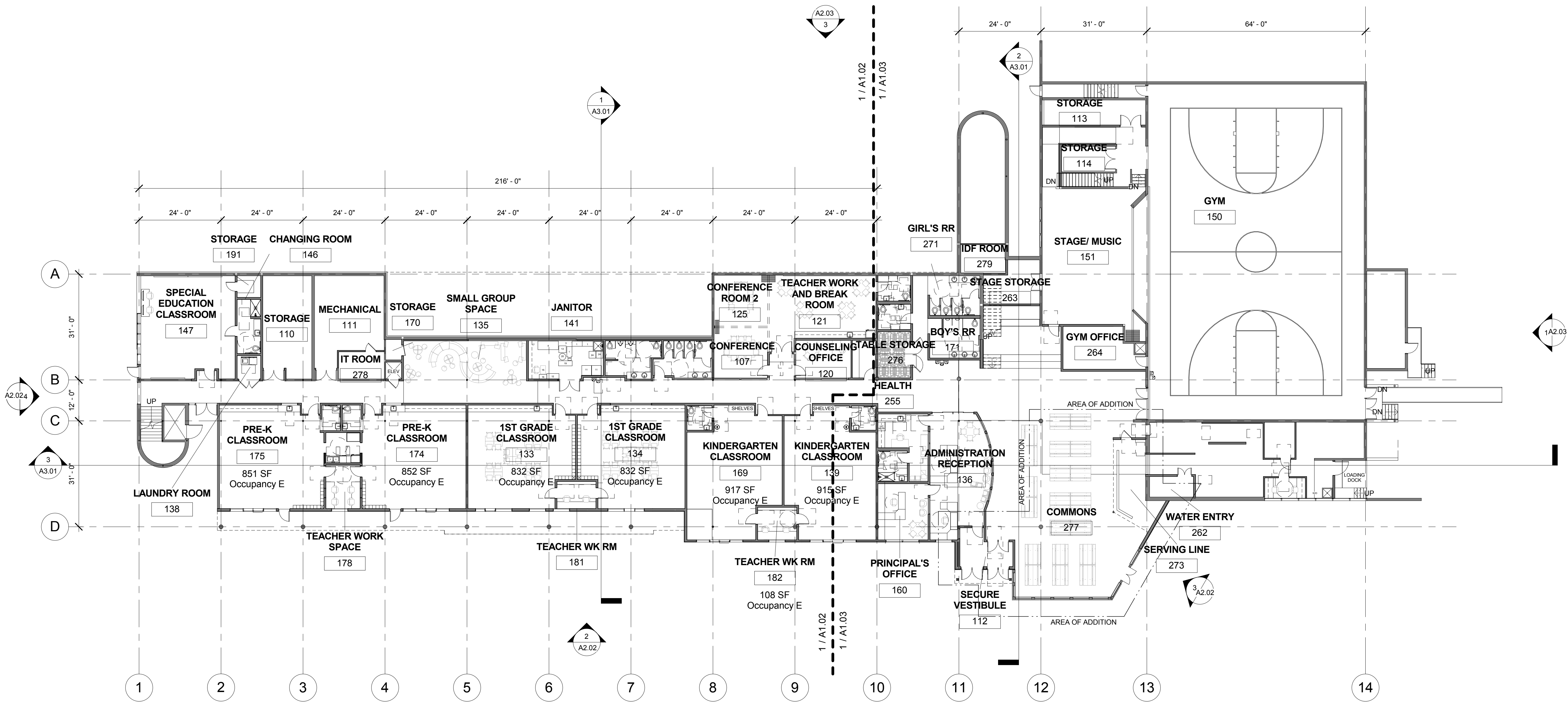
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1 Main Level Overall Floor Plan
A1.01 1/16" = 1'-0"



LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL FLOOR PLANS
SOME NOTES MAY NOT APPLY TO THIS SHEET

FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING. ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS. 0' - 0" - 8742'
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.
12. "1B" NEW CORK TACKBOARDS OR "1B" NEW MARKERBOARDS W/ LENGTH.

SQUARE FOOTAGE SUMMARY:

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TOTAL DIFFERENCE = 5,830 SF	

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TAG NOTE LEGEND

TAG	NOTE
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SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd West
Vail, CO 81657

Main Level Overall Floor Plan
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A1.01

1627.02
08/25/17
Revised

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Edwards, CO 81632 970-666-1740

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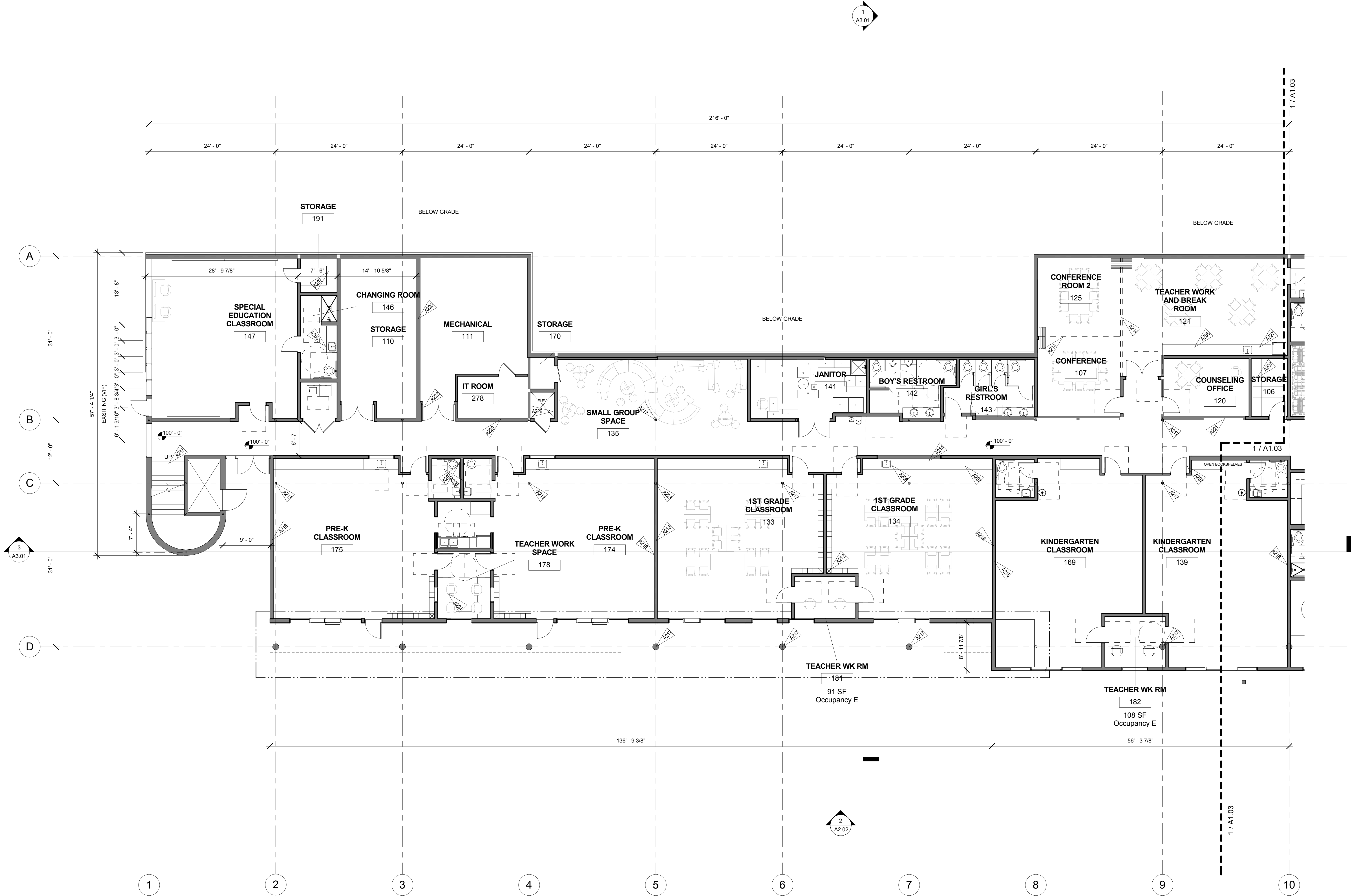
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1 Main Level Area A Floor Plan
A1.02 1/8" = 1'-0"



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TAG NOTE LEGEND

TAG	NOTE
A206	INSTALL NEW PLUMBING FIXTURES
A207	INSTALL NEW OPEN BOOKCASE SHELVE
A208	INSTALL NEW CASEWORK WITH UPPER AND LOWER CABINETS
A212	INSTALL NEW OPEN STUDENT CUBBIES WITH ENCLOSED STORAGE ABOVE
A214	INSTALL NEW PARTITION WALL WITH ONE DOOR PANEL WITHIN WALL SYSTEM
A217	REFINISH EXISTING EXPOSED STRUCTURE
A218	INSTALL (2) NEW 4'x 4' TACKBOARDS WITH A 12'x 4' MAGNETIC WHITEBOARD ON TEACHING WALL
A220	EXISTING WALL TO REMAIN
A221	EXISTING WINDOW LOCATION TO REMAIN. NEW WINDOW TO BE INSTALLED IN SAME LOCATION
A222	EXISTING DOOR TO REMAIN
A223	NEW WOOD COLUMN FOR NEW ROOF ABOVE
A224	INSTALL NEW WALL MOUNTED WORK DESK/COUNTER
A226	INSTALL NEW ACCESSIBLE LIFT
A227	NEW KITCHENETTE/ PREP AREA WITH NEW APPLIANCES
A237	INSTALL NEW FLOOR FINISH ON EXISTING STAIRS

KEY PLAN



SCHEMATIC
DESIGN SET

STAMP

551 N Frontage Rd West
Vail, CO 81657

Main Level Area A Floor Plan
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A1.02

1627.02
08/28/17
Revisions

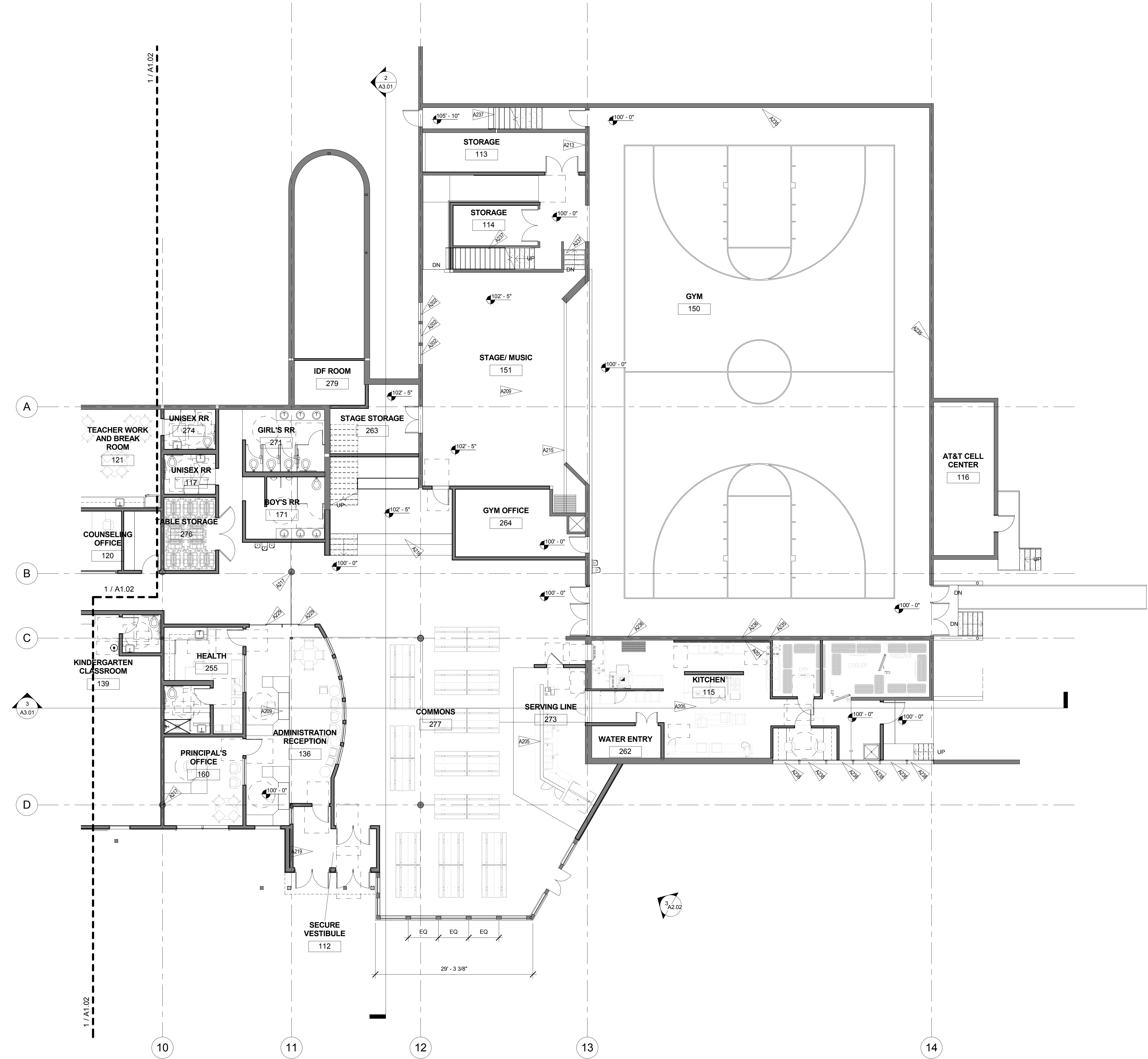
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1 Main Level Area B Floor Plan
A1.03 1/8" = 1'-0"



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TAG NOTE LEGEND	
TAG	NOTE
A201	INSTALL NEW WALL, REF WALL TAGS AND DETAILS FOR TYPES
A202	INSTALL NEW WINDOW
A205	INSTALL NEW KITCHEN EQUIPMENT, REF KITCHEN DWGS
A209	INSTALL NEW LIGHTING, FLOOR FINISHES, AND CEILING FINISHES
A213	INSTALL NEW GYM MAT LIFT
A215	INSTALL NEW SOUND PROOF PARTITION WALL SYSTEM ON EXISTING PARTITION SYSTEM TRACK
A216	NEW LEARNING STAIR WITH 2x 2' CARPETED STEPS
A217	REFINISH EXISTING EXPOSED STRUCTURE
A219	INSTALL NEW SECURITY FEATURES TO ECSD STANDARDS FOR SECURE ACCESS TO SCHOOL
A229	INSTALL SLIDING GLA170724 CMGC5-RFI 061 - GC Door F103A, TAB ResponseSS DOORS, SEE NARRATIVE
A235	NEW WALL MOUNTED CRASH PADS
A236	INFILL EXISTING OPENING WITH CMU, PAINT ENTIRE WALL TO MATCH
A237	INSTALL NEW FLOOR FINISH ON EXISTING STAIRS
A238	INSTALL NEW WINDOW GLAZING PER CURRENT ENERGY STANDARDS IN EXISTING WINDOW SASH

KEY PLAN

SCHEMATIC DESIGN SET

STAMP

551 N Frontage Rd West
Vail, CO 81657

Main Level Area B Floor Plan

Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A1.03

1627.02
08/25/17
Revisions

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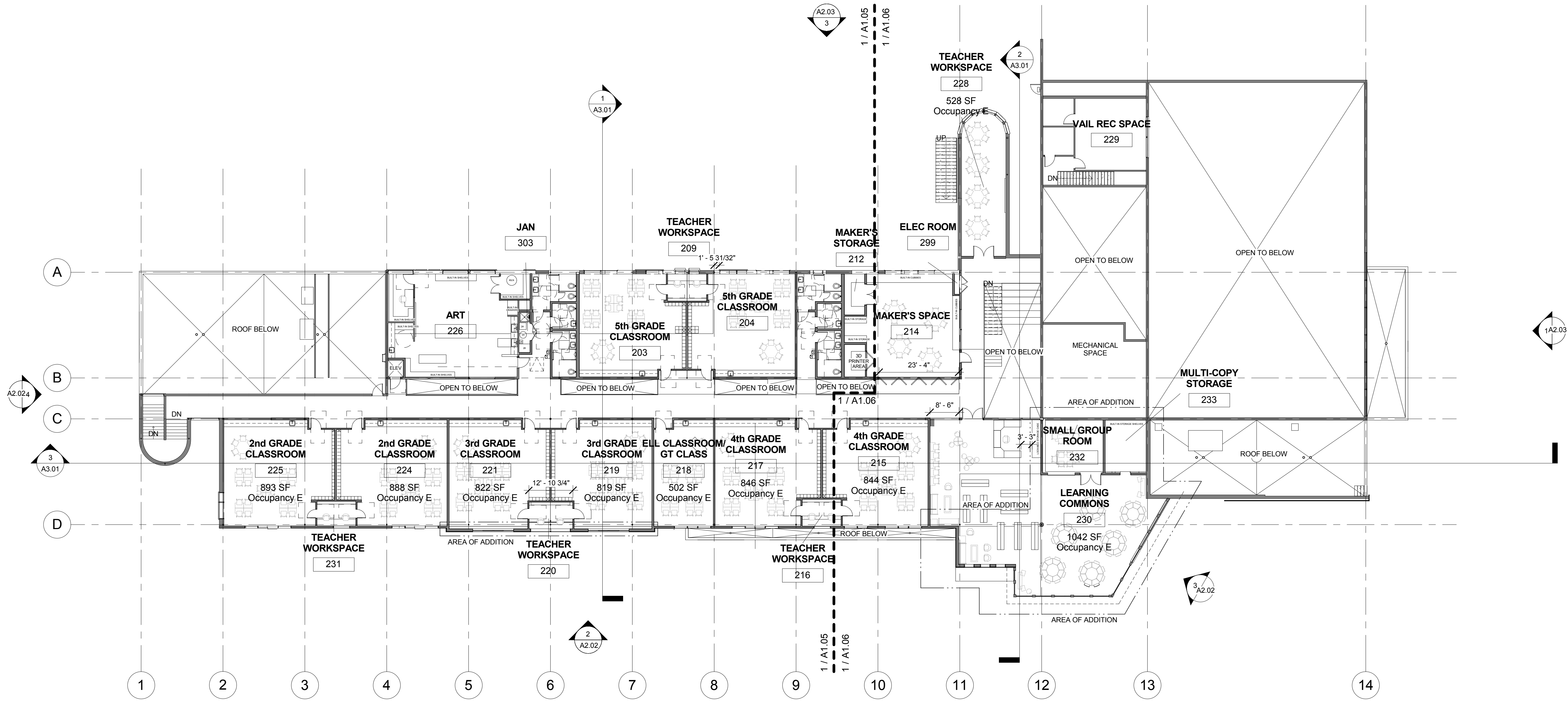
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1 Second Level Overall Floor Plan
A1.04 1/16" = 1'-0"



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A1.04

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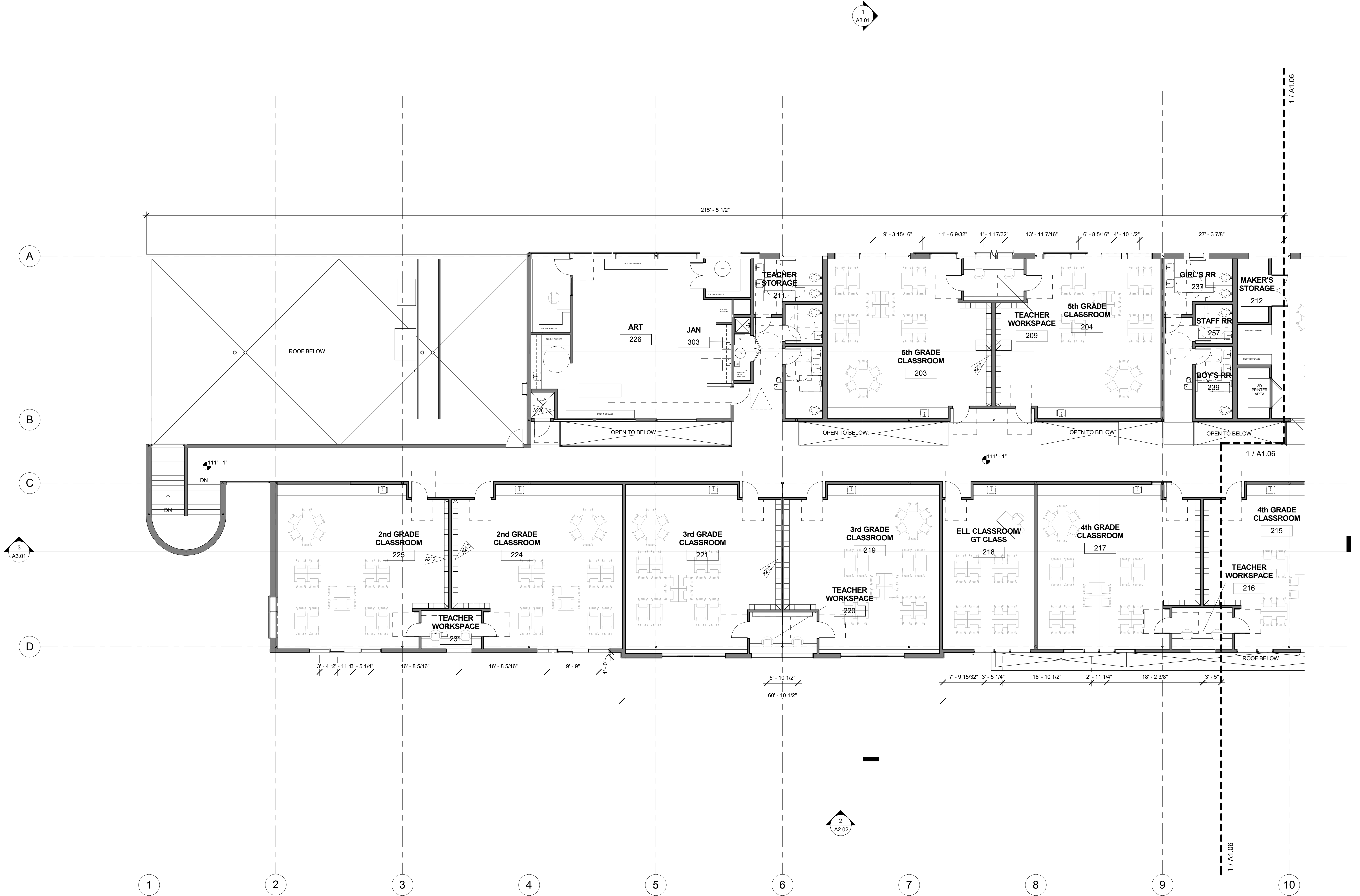
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1
A1.05/ 1/8" = 1'-0"

Second Level Area B Floor Plan



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FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING. ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS. 0' - 0" - 8742
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.
12. "TB" NEW CORK TACKBOARDS OR "MB" NEW MARKERBOARDS W/ LENGTH.

SQUARE FOOTAGE SUMMARY:

EXISTING SQUARE FOOTAGE	NEW SQUARE FOOTAGE
MAIN LEVEL - 28,389 SF	MAIN LEVEL - 31,373 SF
SECOND LEVEL - 27,141 SF	SECOND LEVEL - 29,987 SF
TOTAL SF - 55,530 SF	TOTAL SF - 61,360 SF
TOTAL DIFFERENCE = 5,830 SF	

GENERAL SCOPE OF WORK:

1. ADDITION AT ENTRY OF SCHOOL ADDING A NEW SECURE VESTIBULE WITH DISTRICT STANDARD SECURITY FEATURES AND CAMERAS. WITH PUSH BUTTON ACCESS AT BOTH ADMIN WORK STATIONS. ENTRY WINDOWS AND DOORS TO HAVE BULLET PROOF SECURITY GLAZING. SURROUNDING WALL ASSEMBLIES TO EXTEND TO METAL DECK ABOVE FOR SAFETY.
2. NEW COMMONS (CAFETERIA) AND LERNING COMMONS (LIBRARY) ADDITION CREATED AT THE FRONT OF THE SCHOOL. ALL NEW INTERIOR AND EXTERIOR FINISHES. FINISH FLOOR TO BE LVT. EXISTING BOOK STACKS TO BE REUSED.
3. NEW ADDITION EXTENDING THE MAIN LEVEL SOUTH BUILDING FACE TO BE FLUSH WITH THE EXISTING SECOND LEVEL SOUTH BUILDING FACE. ADDITION ADDS SQUARE FOOTAGE TO CLASSROOMS.
4. ADDITION AT SECOND LEVEL OVER EXISTING MECHANICAL ROOM. NEW EXTERIOR WALL WILL BEAR ON THE EXISTING STRUCTURAL CONCRETE WALL OF THE MAIN LEVEL MECHANICAL ROOM. REFER TO STRUCTURAL NARRATIVE FOR MORE INFORMATION.
5. ALL RENOVATED SPACES WILL INCLUDE NEW FINISH FLOOR (VCT AND ABRASIVE ACTION IN CLASSROOMS. NEW VCT IN COMMON SPACES). ALL PAINTABLE SURFACES WILL BE REPAINTED.
6. ALL CLASSROOMS AND CORRIDORS WILL HAVE NEW ACT CEILING GRID AND CEILING TILES.
7. NEW PLUMBING FIXTURE AND FIXTURE LAYOUT CREATING ACCESSIBLE RESTROOMS.
8. NEW UPPER CABINET AND LOWER CABINET CASEWORK INSTALLED IN ALL CLASSROOMS.
9. RENOVATION AT EXISTING KITCHEN, REVISING THE EXISTING VENT HOOD LOCATION. INSTALL A NEW WALK-IN COOLER AND WALK-IN FREEZER. ALL NEW KITCHEN EQUIPMENT AND SERVING LINE EQUIPMENT. REFER TO KITCHEN DRAWINGS FOR MORE INFORMATION.
10. NEW CLASSROOM AND STAGE. RENOVATIONS TO EXISTING STAGE EQUIPMENT WITH THE ADDITION OF NEW CLASSROOM EQUIPMENT. REFER TO THEATER DRAWINGS FOR MORE INFORMATION.
11. SECOND LEVEL CORRIDOR RENOVATIONS INCLUDE REVISING THE EXISTING FLOOR OPENINGS TO MAIN LEVEL. REFER TO STRUCTURAL NARRATIVE FOR MORE INFORMATION.
12. NEW MECHANICAL SYSTEMS THROUGHOUT ALL RENOVATED AND ADDITION SPACES. REFER TO MECHANICAL NARRATIVE AND DRAWINGS FOR MORE INFORMATION ON SYSTEM OPTIONS.

TAG NOTE LEGEND

TAG	NOTE
A212	INSTALL NEW OPEN STUDENT CUBBIES WITH ENCLOSED STORAGE ABOVE
A226	INSTALL NEW ACCESSIBLE LIFT

KEY PLAN



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DESIGN SET

STAMP

551 N Frontage Rd West
Vail, CO 81657

Second Level Area A Floor Plan
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A1.05

1627.02
08/25/17
Revisions

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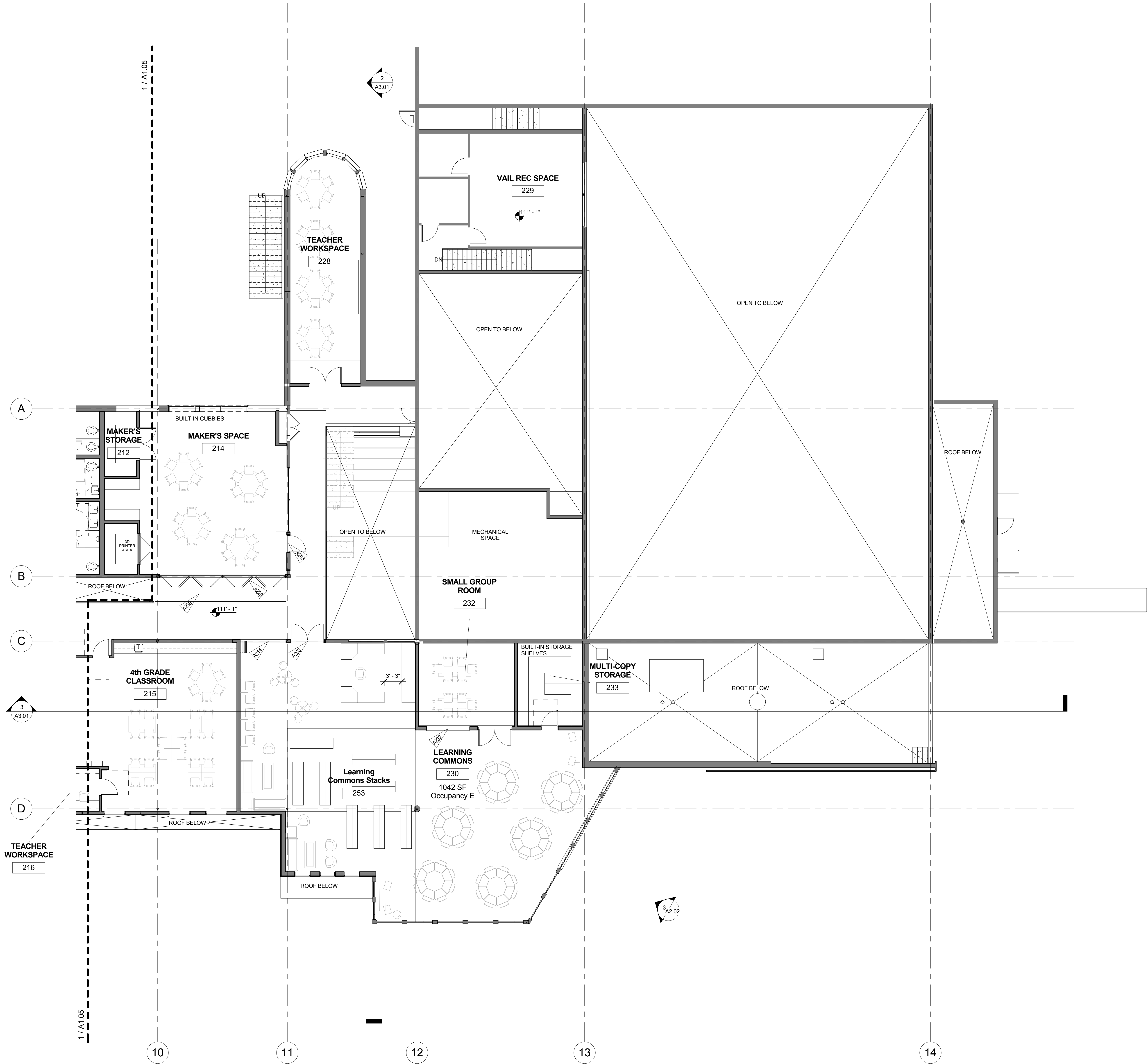
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1 Second Level Area B Floor Plan
A1.06 1/8" = 1'-0"



KEY PLAN



LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL FLOOR PLANS
SOME NOTES MAY NOT APPLY TO THIS SHEET

FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
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7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS: 0' - 17' - 8742.
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9. RENOVATION AT EXISTING KITCHEN. REVISING THE EXISTING VENT HOOD LOCATION. INSTALL A NEW WALK-IN COOLER AND WALK-IN FREEZER. ALL NEW KITCHEN EQUIPMENT AND SERVING LINE EQUIPMENT. REFER TO KITCHEN DRAWINGS FOR MORE INFORMATION.
10. NEW CLASSROOM AND STAGE. RENOVATIONS TO EXISTING STAGE EQUIPMENT WITH THE ADDITION OF NEW CLASSROOM EQUIPMENT. REFER TO THEATER DRAWINGS FOR MORE INFORMATION.
11. SECOND LEVEL CORRIDOR RENOVATIONS INCLUDE REVISING THE EXISTING FLOOR OPENINGS TO MAIN LEVEL. REFER TO STRUCTURAL NARRATIVE FOR MORE INFORMATION.
12. NEW MECHANICAL SYSTEMS THROUGHOUT ALL RENOVATED AND ADDITION SPACES. REFER TO MECHANICAL NARRATIVE AND DRAWINGS FOR MORE INFORMATION ON SYSTEM OPTIONS.

TAG NOTE LEGEND

TAG	NOTE
A203	INSTALL NEW DOOR, DOOR FRAME, AND DOOR HARDWARE
A214	INSTALL NEW PARTITION WALL WITH ONE DOOR PANEL WITHIN WALL SYSTEM
A229	INSTALL SLIDING GLA170724 CMGC5- RF1 061 - GC Door F103A_TAB ResponseSS DOORS. SEE NARRATIVE
A232	INSTALL NEW OVERHEAD DOOR WITH GLAZING
A239	INSTALL NEW FLOOR SLAB

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551 N Frontage Rd West
Vail, CO 81657

Second Level Area B Floor Plan
Red Sandstone Elementary School Renovation and
Parking Garage - Vail Potato Patch Block 2 Lot 8

A1.06

1627.02
08/25/17
Revisions

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Edwards, CO 81632



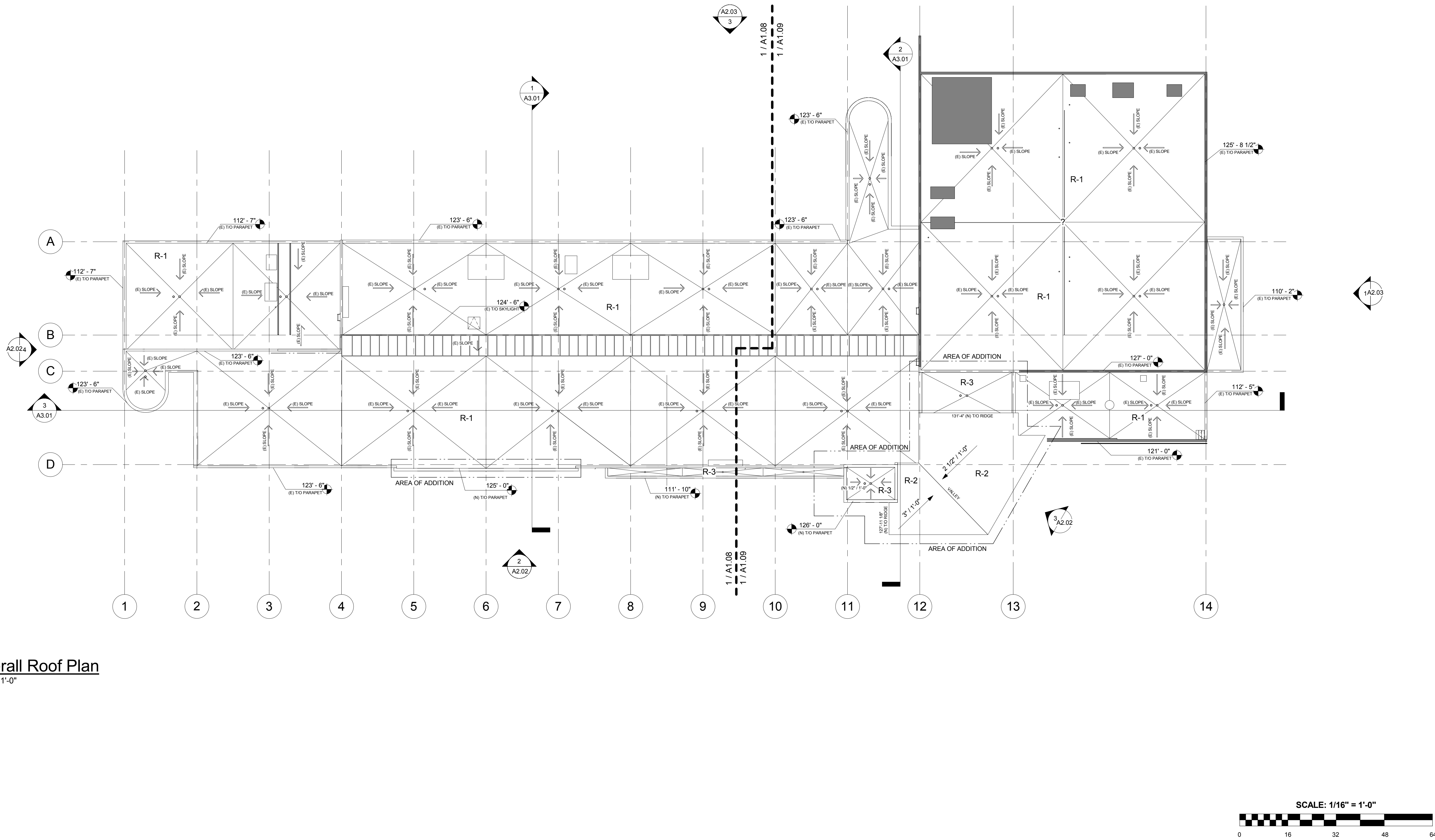
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1 Overall Roof Plan
A1.07 1/16" = 1'-0"



LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL ROOF PLANS
SOME NOTES MAY NOT APPLY TO THIS SHEET

ROOF PLAN GENERAL NOTES:

- EXISTING ROOFING TO BE REMOVED. ALL EXISTING ROOFING TO BE REMOVED AND REPLACED WITH FULLY ADHERED 60 MIL EPDM ON 1/2" PROTECTION BOARD ON R-40 CONTINUOUS INSULATION.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE.
- INCLUDE ALTERNATE #1 FOR REPLACEMENT OF EXISTING SKYLIGHT WITH NEW KALWALL SKYLIGHT.

TAG NOTE LEGEND

TAG	NOTE
R-1	NEW REPLACEMENT 90 MIL REINFORCED EPDM
R-2	NEW STANDING SEAM METAL ROOF
R-3	NEW 90 MIL REINFORCED EPDM

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DESIGN SET

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551 N Frontage Rd West
Vail, CO 81657

Overall Roof Plan
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

A1.07

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08/29/17
Revised

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970-766-1740

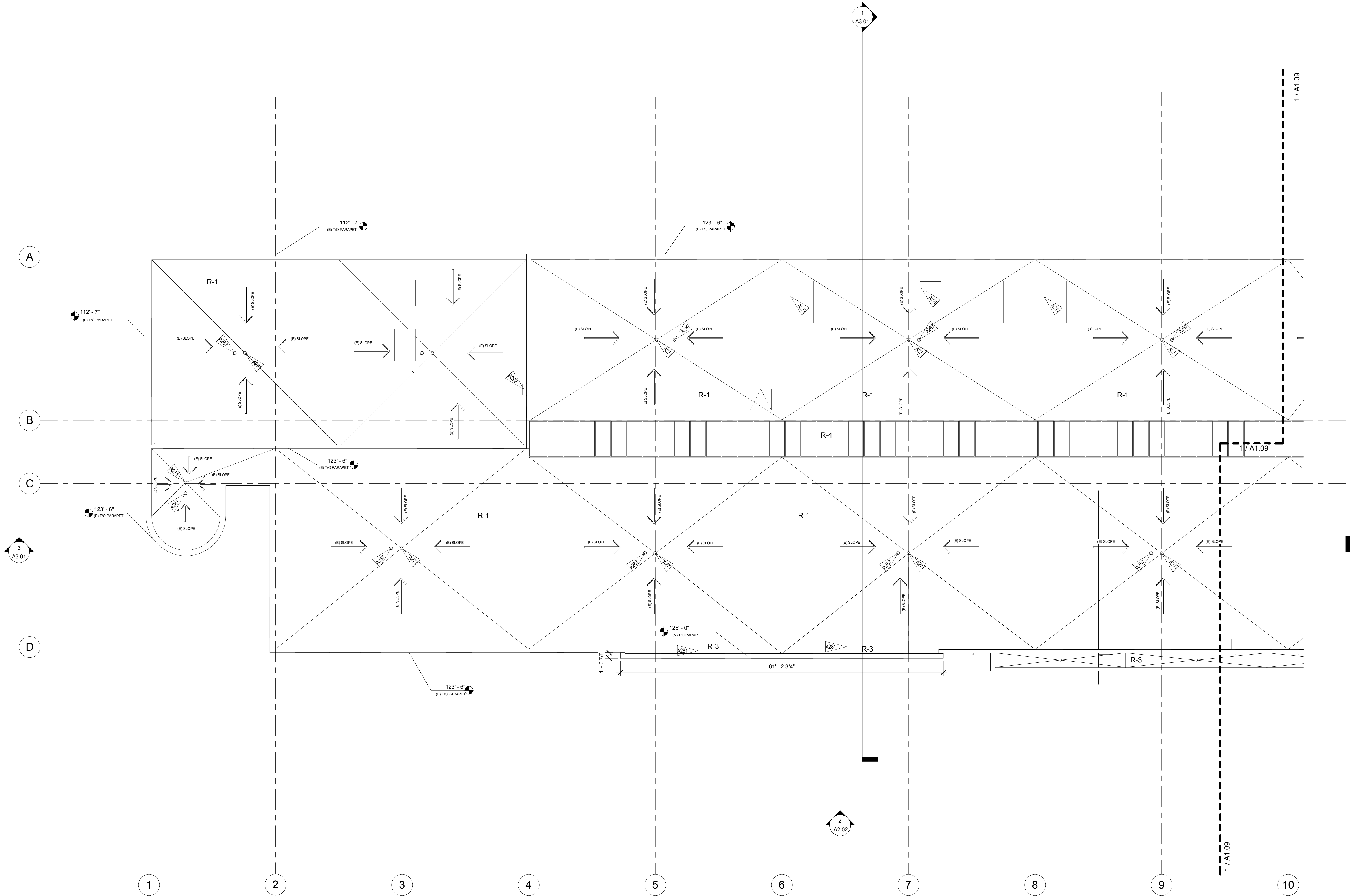
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1 Area A Roof Plan
A1.08 / 1/8" = 1'-0"

LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL ROOF PLANS
SOME NOTES MAY NOT APPLY TO THIS SHEET

ROOF PLAN GENERAL NOTES:

1. EXISTING ROOFING TO BE REMOVED: ALL EXISTING ROOFING TO BE REMOVED AND REPLACED WITH FULLY ADHERED 60 MIL EPDM ON 1/2" PROTECTION BOARD ON R-40 CONTINUOUS INSULATION.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE.
3. INCLUDE ALTERNATE #1 FOR REPLACEMENT OF EXISTING SKYLIGHT WITH NEW KALWALL SKYLIGHT.

TAG NOTE LEGEND

TAG	NOTE
A271	EXISTING ROOF DRAIN TO REMAIN. CONTRACTOR TO TEST DRAIN IS FULLY FUNCTIONAL AND REPLACE OR REPAIR AS NECESSARY
A277	INSTALL NEW ROOF MECHANICAL EQUIPMENT
A279	EXISTING MECHANICAL FLUES TO REMAIN
A281	NEW 90 MIL REINFORCED EPDM ROOF
A287	NEW OVERFLOW DRAIN, PIPE TO DAYLIGHT. REF MEP DWGS
A292	INSTALL NEW ROOF ACCESS LADDER
R-1	NEW REPLACEMENT 90 MIL REINFORCED EPDM
R-3	NEW 90 MIL REINFORCED EPDM
R-4	ALTERNATE #1 TO REPLACE SKYLIGHT WITH NEW KALWALL SKYLIGHT SYSTEM

KEY PLAN



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DESIGN SET

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551 N Frontage Rd West
Vail, CO 81657

Area A Roof Plan
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

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Revised

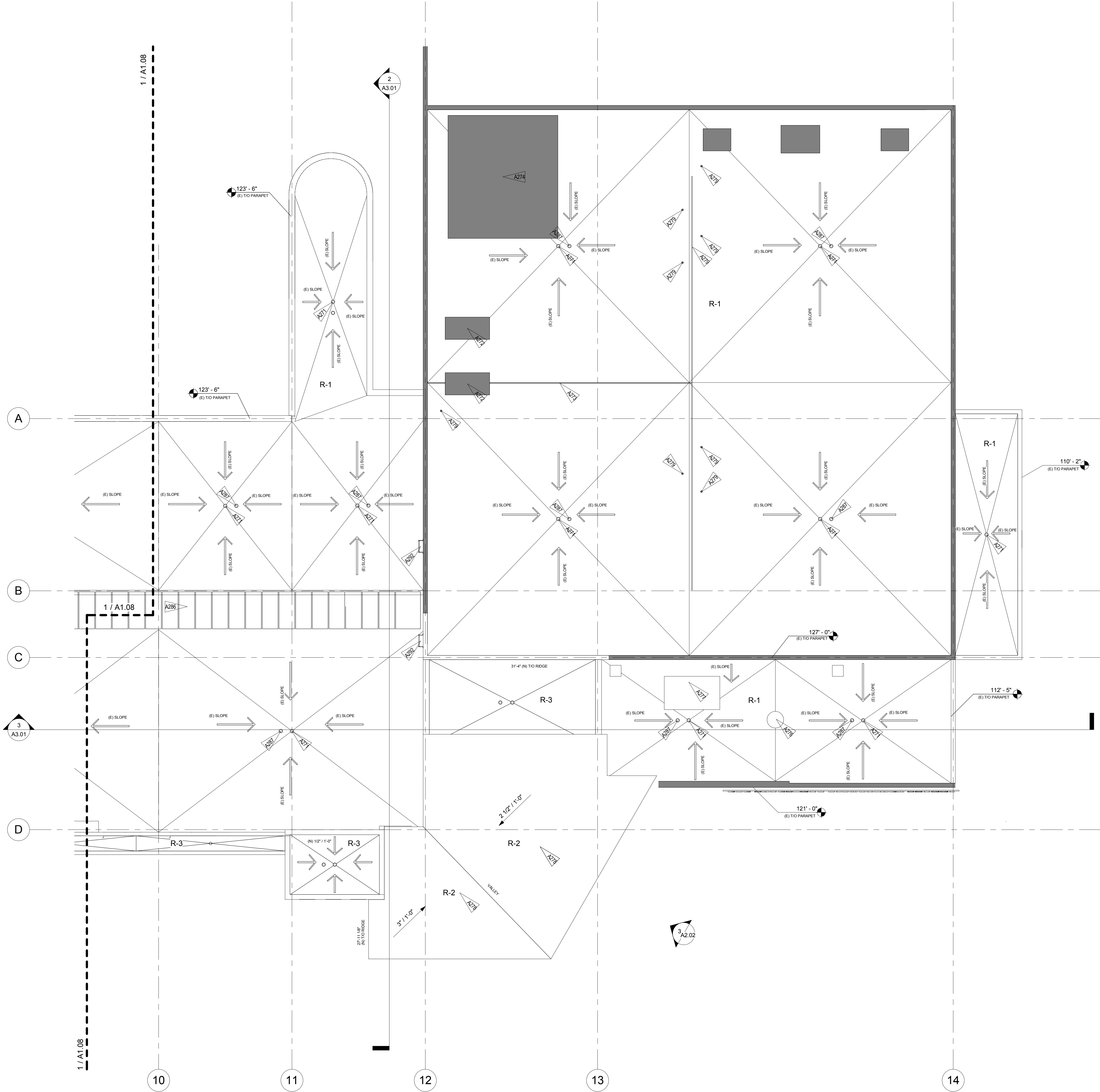
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1 Area B Roof Plan
A1.09 1/8" = 1'-0"



LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL ROOF PLANS
SOME NOTES MAY NOT APPLY TO THIS SHEET

ROOF PLAN GENERAL NOTES:

1. EXISTING ROOFING TO BE REMOVED. ALL EXISTING ROOFING TO BE REMOVED AND REPLACED WITH FULLY ADHERED 80 MIL EPDM ON 1/2" PROTECTION BOARD ON R-40 CONTINUOUS INSULATION.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE.
3. INCLUDE ALTERNATE #1 FOR REPLACEMENT OF EXISTING SKYLIGHT WITH NEW KALWALL SKYLIGHT.

TAG NOTE LEGEND

TAG	NOTE
A271	EXISTING ROOF DRAIN TO REMAIN. CONTRACTOR TO TEST DRAIN IS FULLY FUNCTIONAL AND REPLACE OR REPAIR AS NECESSARY
A272	INSTALL NEW SMOKE HATCHES MEETING CURRENT LIFE SAFETY STANDARDS
A273	EXISTING GAS LINE TO REMAIN
A274	EXISTING ATT CELL EQUIPMENT TO REMAIN
A276	INSTALL NEW VENT HOOD
A277	INSTALL NEW ROOF MECHANICAL EQUIPMENT
A278	NEW 12" STANDING SEAM METAL ROOF
A279	EXISTING MECHANICAL FLUES TO REMAIN
A286	EXISTING SKYLIGHT TO REMAIN, REPLACE ALL GLAZING PANELS
A287	NEW OVERFLOW DRAIN, PIPE TO DAYLIGHT. REF MEP DWGS
A292	INSTALL NEW ROOF ACCESS LADDER
R-1	NEW REPLACEMENT 90 MIL REINFORCED EPDM
R-2	NEW STANDING SEAM METAL ROOF
R-3	NEW 90 MIL REINFORCED EPDM

KEY PLAN



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DESIGN SET

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551 N Frontage Rd West
Vail, CO 81657

Area B Roof Plan
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

A1.09

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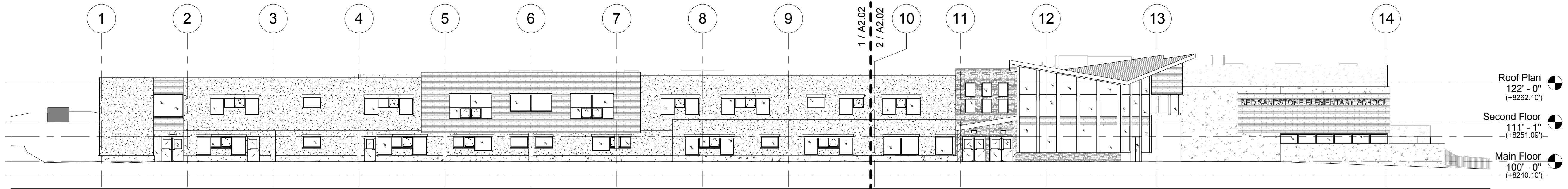
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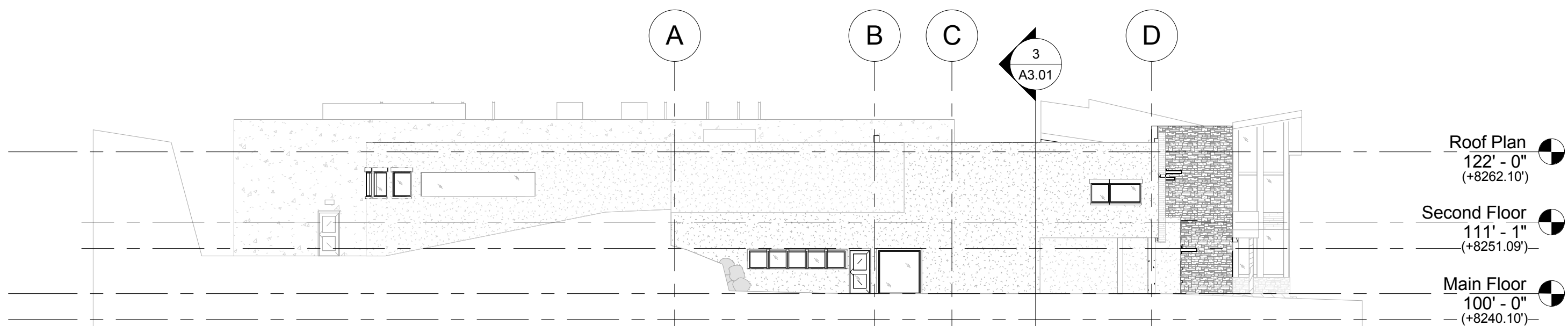
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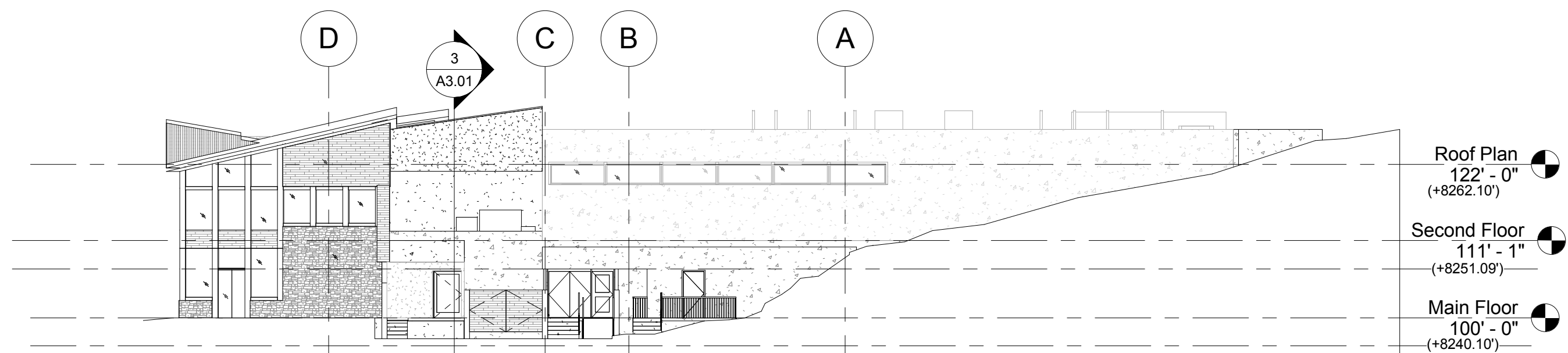
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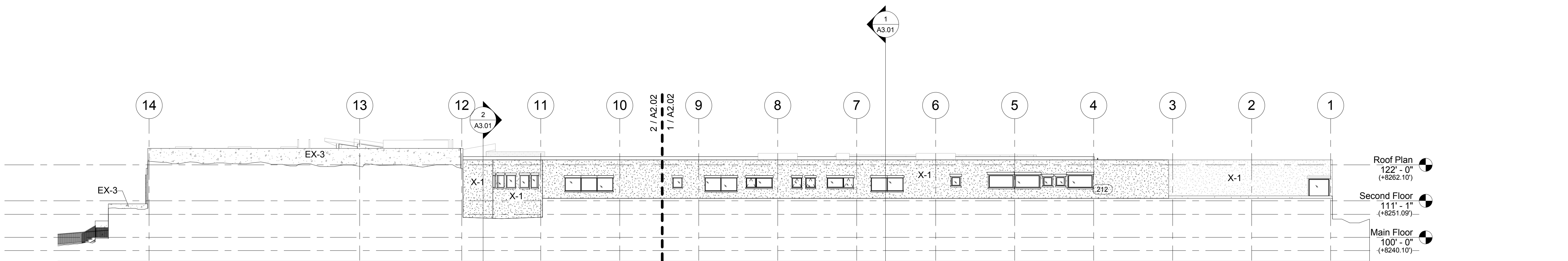
1 South Elevation
A2.01 1/16" = 1'-0"



3 West Elevation
A2.01 1/16" = 1'-0"



2 East Elevation
A2.01 1/16" = 1'-0"



4 North Elevation
A2.01 1/16" = 1'-0"



LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL EXTERIOR ELEVATIONS
SOME NOTES MAY NOT APPLY TO THIS SHEET

EXTERIOR ELEVATION GENERAL NOTES:

- EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL LEGEND" FOR MATERIALS.
- REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
- REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
- ASSUME ALL PAINTED SURFACES WILL BE REPAINTED. THIS INCLUDES BUT IS NOT LIMITED TO: DOORS, DOOR FRAMES, WINDOW FRAMES, AND HEADERS, CEILINGS, HANDRAILS, EXPOSED MECHANICAL, CMU ACCENTS, SOFFITS, STRUCTURAL BEAMS, AND ETC.
- PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
- PROVIDE ALLOWANCE TO REVIEW ALL EXPOSED ELECTRICAL CONDUIT TO DETERMINE FEASIBILITY TO REMOVE OR RELOCATE. INCLUDE IN ALLOWANCE LABOR AND MATERIALS TO REMOVE OR RELOCATE.
- SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT BUILDING.
- WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
- DO NOT SCALE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.

EXTERIOR MATERIAL LEGEND:

EX-3	EXISTING BOARD FORMED CONCRETE
X-1	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT SW 7506 LOGGIA, SAND FINISH
X-2	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT SW 7508 TAVERN TAUPE, SAND FINISH
X-3	NEW BOARD FORMED CONCRETE VENEER PANEL, 2 STONE INDUSTRIAL COLOR TO MATCH EXISTING BOARD FORMED CONCRETE
X-4	NEW DRY STACK LESTONE, #24 W HUDSON SHELL BUFF CHOPPED FINISH
X-5	NEW NICHHA FIBER CEMENT BOARD PANEL IN STYLE VINTAGE WOOD, CEDAR. INSTALLED HORIZONTALLY
X-7	NEW GLULAM LAMINATED TIMBER, OLYMPIC STAIN CHOCOLATE
X-8	NEW ALUMINUM WINDOW MOUNTED SOLAR SHADES, POWDER COATED BLACK, PERFECTION HORIZONTAL
X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, OLYMPIC STAINED CHOCOLATE
R-2	NEW STANDING SEAM METAL ROOF, BERRIDGE DARK BRONZE KYNAR 500

TAG NOTE LEGEND

TAG	NOTE
EX-3	EXISTING BOARD FORMED CONCRETE
X-1	NEW STUCCO WITH INTERGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN

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551 N Frontage Rd West
Vail, CO 81657

Exterior Elevations
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

A2.01

1627.02

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Revisions

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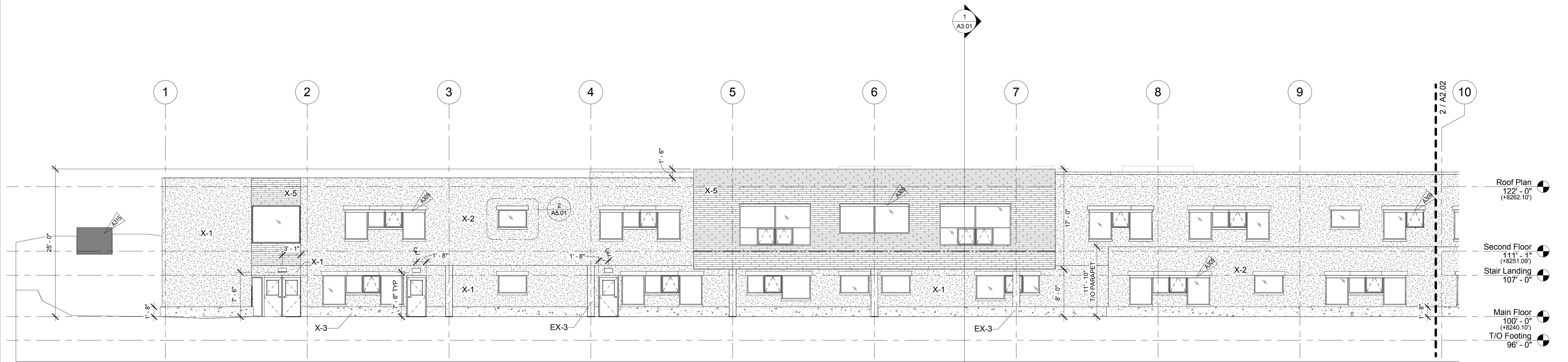
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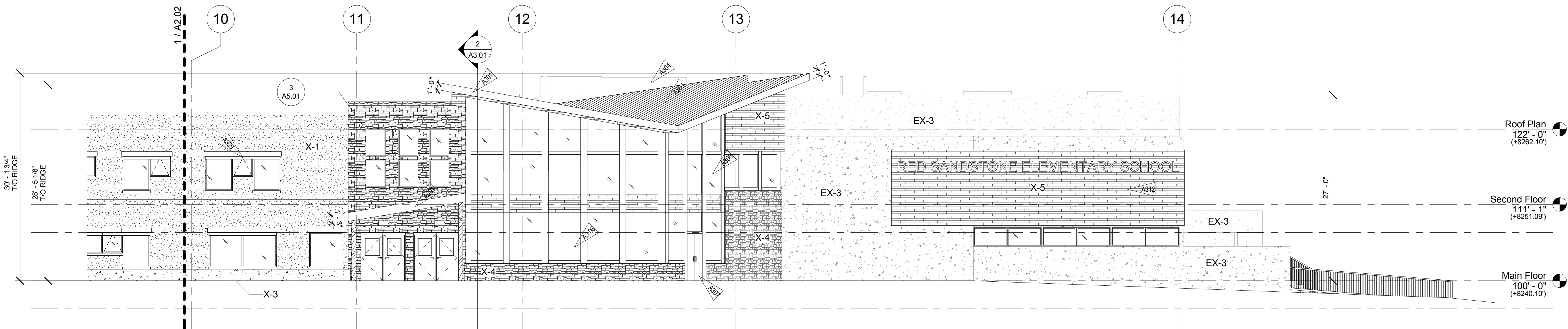
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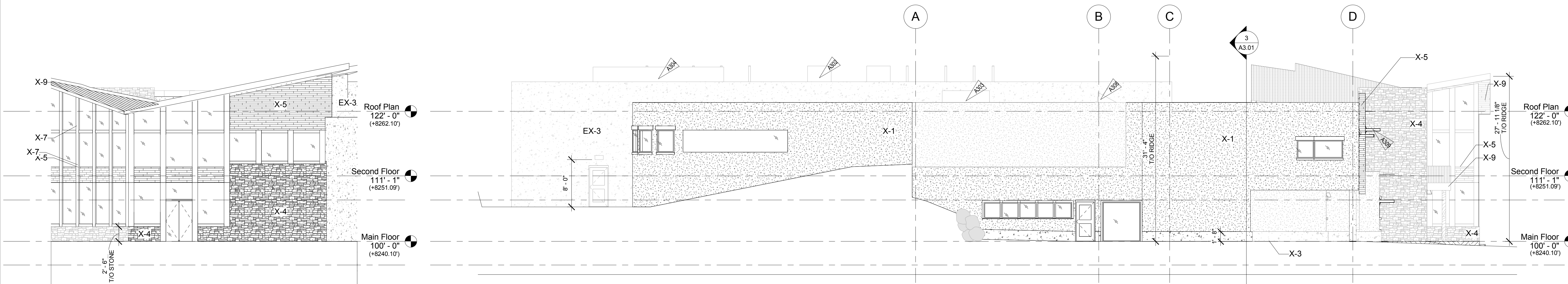
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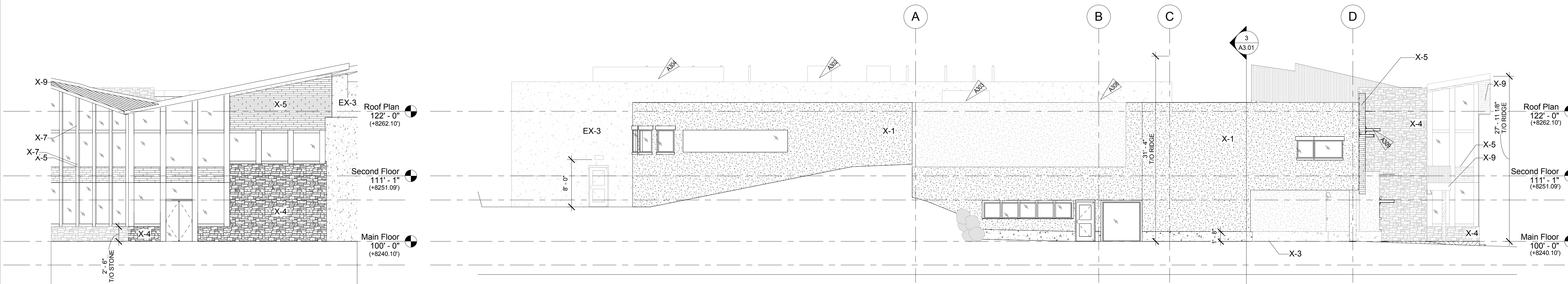
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A2.02 / 1/8" = 1'-0"



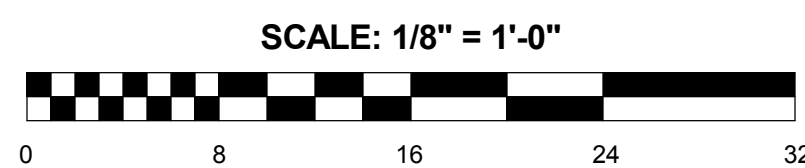
2 South Elevation - Area B
A2.02 / 1/8" = 1'-0"



3 SouthWest Elevation
A2.02 / 1/8" = 1'-0"



4 Enlarged West Elevation
A2.02 / 1/8" = 1'-0"



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	X-2	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT SW 7508 TAVERN TAUPE, SAND FINISH
	X-3	NEW BOARD FORMED CONCRETE VENEER PANEL, 2 STONE INDUSTRIAL, COLOR TO MATCH EXISTING BOARD FORMED CONCRETE
	X-4	NEW DRY STACK LESTONE, #24 W HUDSON SHELL BUFF CHOPPED FINISH
	X-5	NEW NICHHA FIBER CEMENT BOARD PANEL IN STYLE VINTAGE WOOD, CEDAR, INSTALLED HORIZONTALLY
	X-7	NEW GLULAM LAMINATED TIMBER, OLYMPIC STAIN CHOCOLATE
	X-8	NEW ALUMINUM WINDOW MOUNTED SOLAR SHADES, POWDER COATED BLACK, PERFECTION HORIZONTAL
	X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, OLYMPIC STAINED CHOCOLATE
	R-2	NEW STANDING SEAM METAL ROOF, BERRIDGE DARK BRONZE KYNAR 500

TAG NOTE LEGEND

TAG	NOTE
A3	NEW STANDING METAL SEAM ROOF
A301	EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT TO REMAIN
A302	NEW ROOF MOUNTED MECHANICAL EQUIPMENT
A303	EXISTING ATT CELL EQUIPMENT TO REMAIN
A304	INSTALL NEW STOREFRONT GLAZING, REF FLOOR PLANS
A306	INSTALL NEW DOUBLE DOORS
A307	EXISTING SKYLIGHT TO REMAIN, REPLACE ALL GLAZING PANELS
A308	INSTALL NEW WALL-MOUNTED SOLAR SHADE
A309	INSTALL NEW SCHOOL SIGNAGE ON BUILDING
A312	EXISTING TRANSFORMER AND METER, REF ELEC DWGS
EX-3	EXISTING BOARD FORMED CONCRETE
X-1	NEW STUCCO WITH INTERGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-2	NEW STUCCO WITH INTERGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-3	NEW BOARD FORMED CONCRETE, TO MATCH EXISTING
X-4	NEW ASHLAR PATTERN SMOOTH FINISH STONE
X-5	NEW NICHHA HORIZONTAL VINTAGE WOOD VENEER PANEL, CEDAR
X-7	NEW GLULAM LAMINATED TIMBER, STAINED
X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, STAINED

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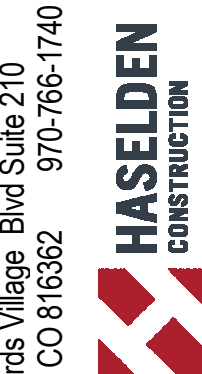
551 N Frontage Rd West
Vail, CO 81657

Enlarged Exterior Elevations
Red Sandstone Elementary School Renovation +
Parking Garage - Vail Potato Patch Block 2 Lot 8

A2.02

1627.02
08/28/17
Revisions

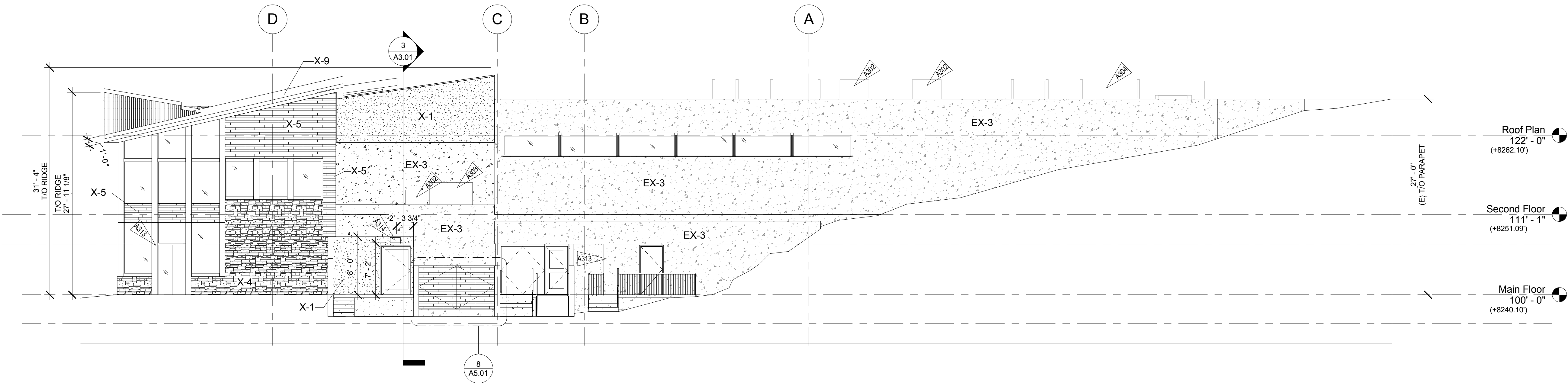
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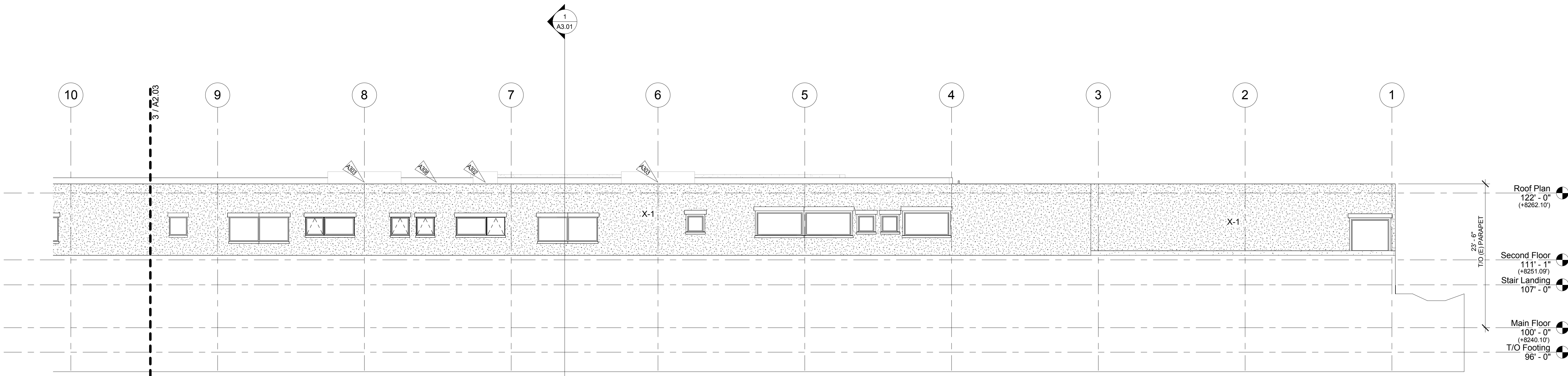
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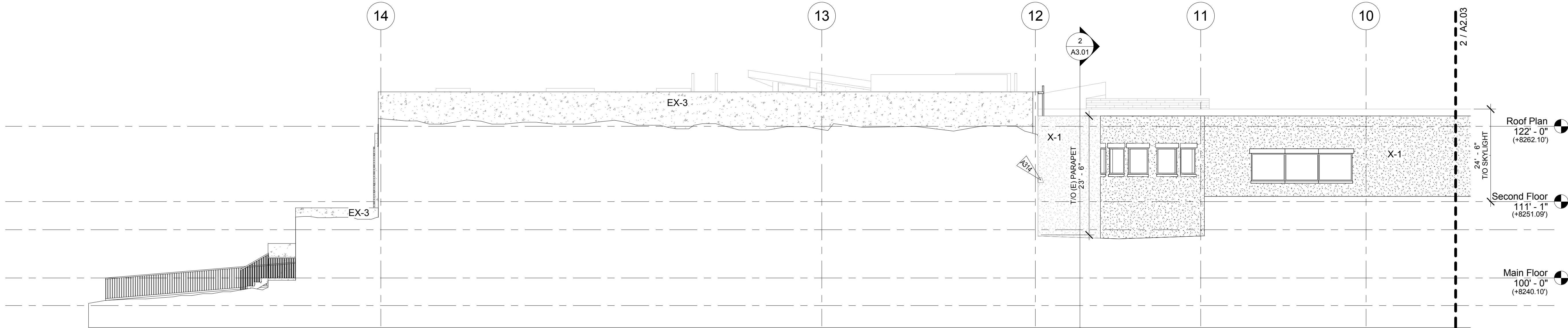
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1 Enlarged East Elevation
A2.03 / 1/8" = 1'-0"



2 North Elevation - Area A
A2.03 / 1/8" = 1'-0"



3 North Elevation - Area B
A2.03 / 1/8" = 1'-0"



LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL EXTERIOR ELEVATIONS
SOME NOTES MAY NOT APPLY TO THIS SHEET

EXTERIOR ELEVATION GENERAL NOTES:

- EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL LEGEND" FOR MATERIALS.
- REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
- REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
- ASSUME ALL PAINTED SURFACES WILL BE REPAINTED. THIS INCLUDES BUT IS NOT LIMITED TO: DOORS, DOOR FRAMES, WINDOW FRAMES, AND HEADERS, CEILINGS, HANDRAILS, EXPOSED MECHANICAL, GYM ACCENTS, SOFFITS, STRUCTURAL BEAMS, AND ETC.
- PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
- PROVIDE ALLOWANCE TO REVIEW ALL EXPOSED ELECTRICAL CONDUIT TO DETERMINE FEASIBILITY TO REMOVE OR RELOCATE. INCLUDE IN ALLOWANCE LABOR AND MATERIALS TO REMOVE OR RELOCATE.
- SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT BUILDING.
- WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
- DO NOT SCALE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.

EXTERIOR MATERIAL LEGEND:

	EX-3 EXISTING BOARD FORMED CONCRETE
	X-1 NEW STUCCO WITH INTEGRAL COLOR FINISH COAT SW 7908 LOGGIA, SAND FINISH
	X-2 NEW STUCCO WITH INTEGRAL COLOR FINISH COAT SW 7908 TAVERN TAUPE, SAND FINISH
	X-3 NEW BOARD FORMED CONCRETE VENEER PANEL 2 STONE INDUSTRIAL COLOR TO MATCH EXISTING BOARD FORMED CONCRETE
	X-4 NEW DRY STACK LESTONE, #24 W HUDSON SHELL BUFF CHOPPED FINISH
	X-5 NEW NICHHA FIBER CEMENT BOARD PANEL IN STYLE VINTAGE WOOD, CEDAR. INSTALLED HORIZONTALLY
	X-7 NEW GLULAM LAMINATED TIMBER, OLYMPIC STAIN CHOCOLATE
	X-8 NEW ALUMINUM WINDOW MOUNTED SOLAR SHADES, POWDER COATED BLACK, PERFECTION HORIZONTAL
	X-9 NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, OLYMPIC STAINED CHOCOLATE
	R-2 NEW STANDING SEAM METAL ROOF, BERRIDGE DARK BRONZE KYNAR 500

TAG NOTE LEGEND

TAG	NOTE
A302	EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT TO REMAIN
A303	NEW ROOF MOUNTED MECHANICAL EQUIPMEN
A304	EXISTING ATT CELL EQUIPMENT TO REMAIN
A308	EXISTING SKYLIGHT TO REMAIN, REPLACE ALL GLAZING PANELS
A313	EXISTING METER LOCATION AND INSTALLATION TO REMAIN
A314	INSTALL NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE
EX-3	EXISTING BOARD FORMED CONCRETE
X-1	NEW STUCCO WITH INTEGRAL COLOR FINISH COAT, COLOR SIMILAR TO AS SHOWN
X-4	NEW ASHLAR PATTERN SMOOTH FINISH STONE
X-5	NEW NICHHA HORIZONTAL VINTAGE WOOD VENEER PANEL, CEDAR
X-9	NEW ARCHITECTURAL WOOD SOFFIT AND FASCIA, STAINED

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A2.03

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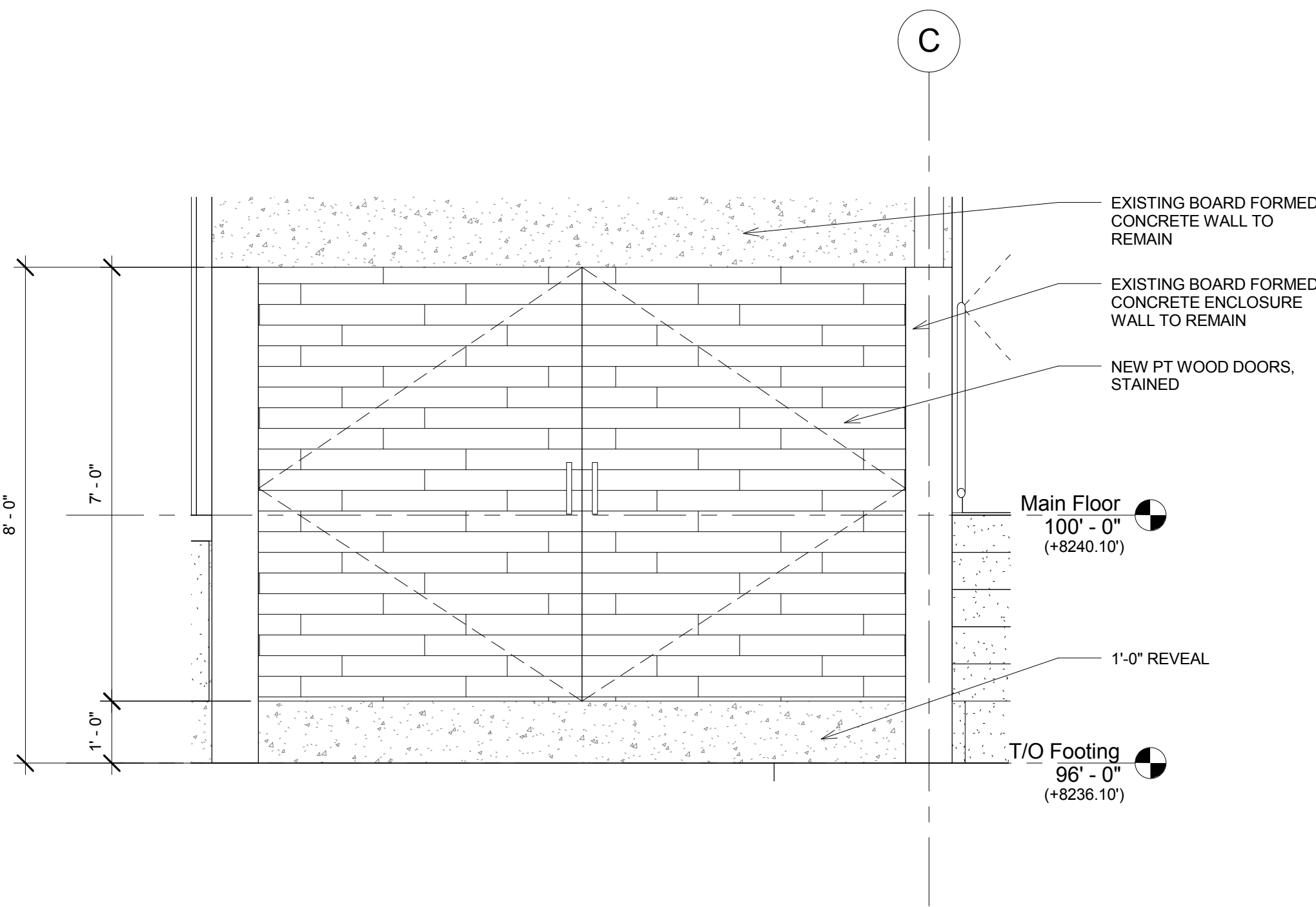
HASELDEN
CONSTRUCTION

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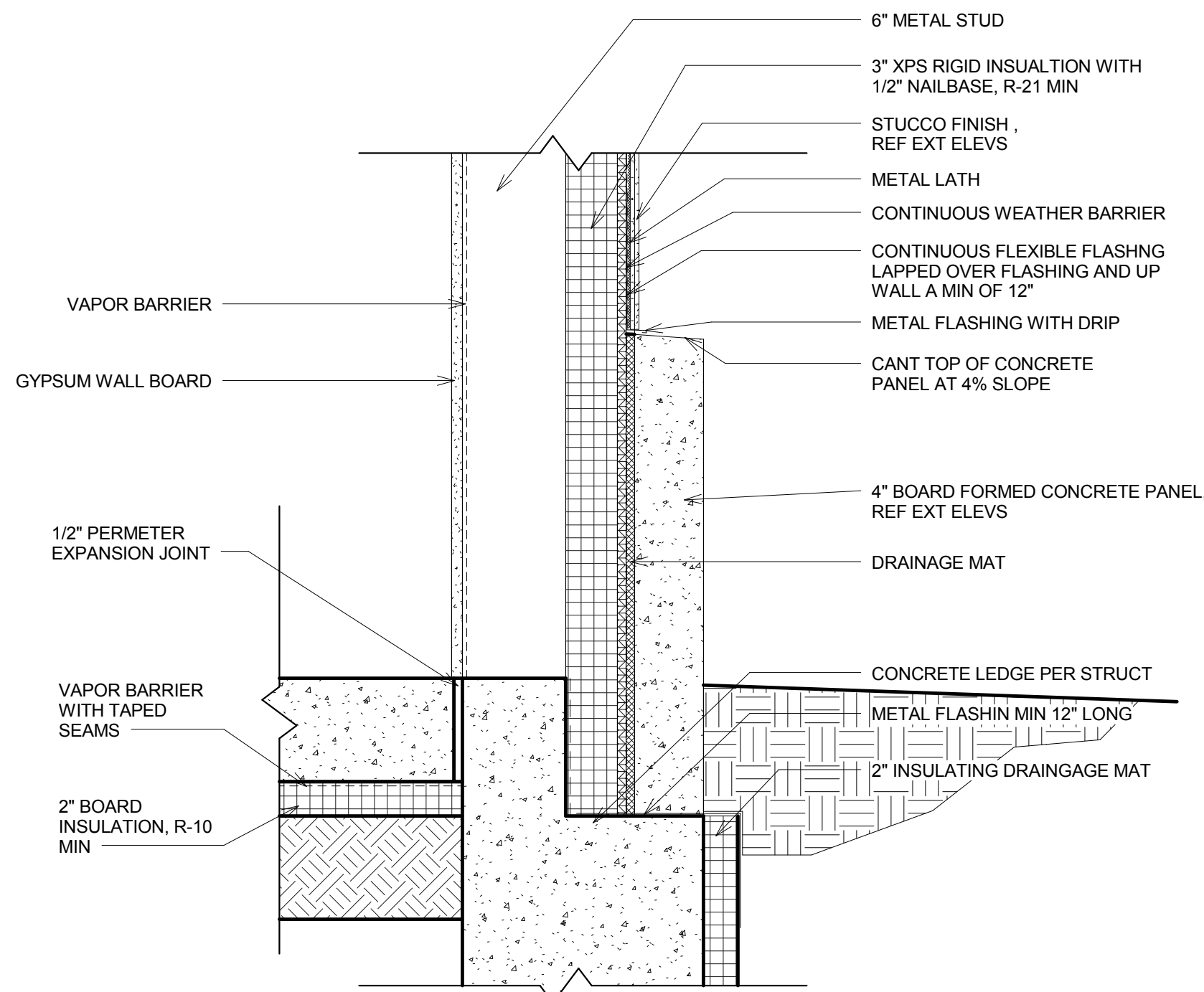
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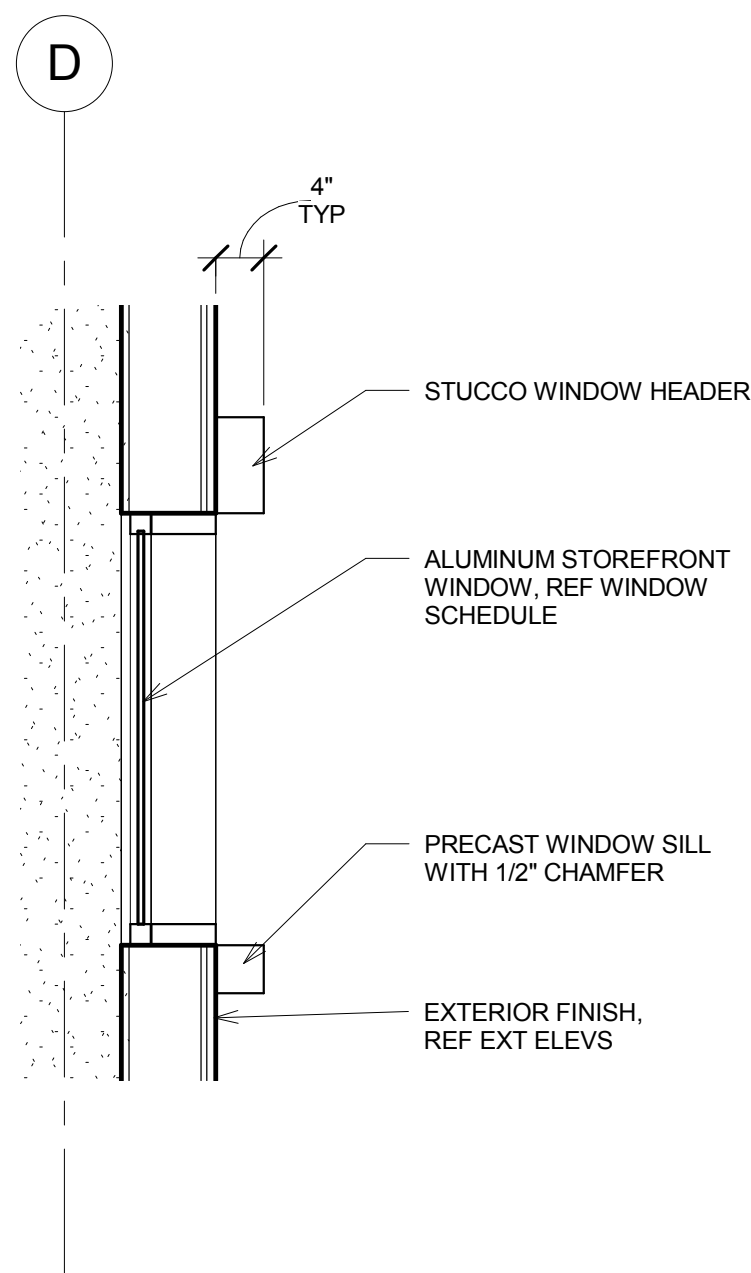
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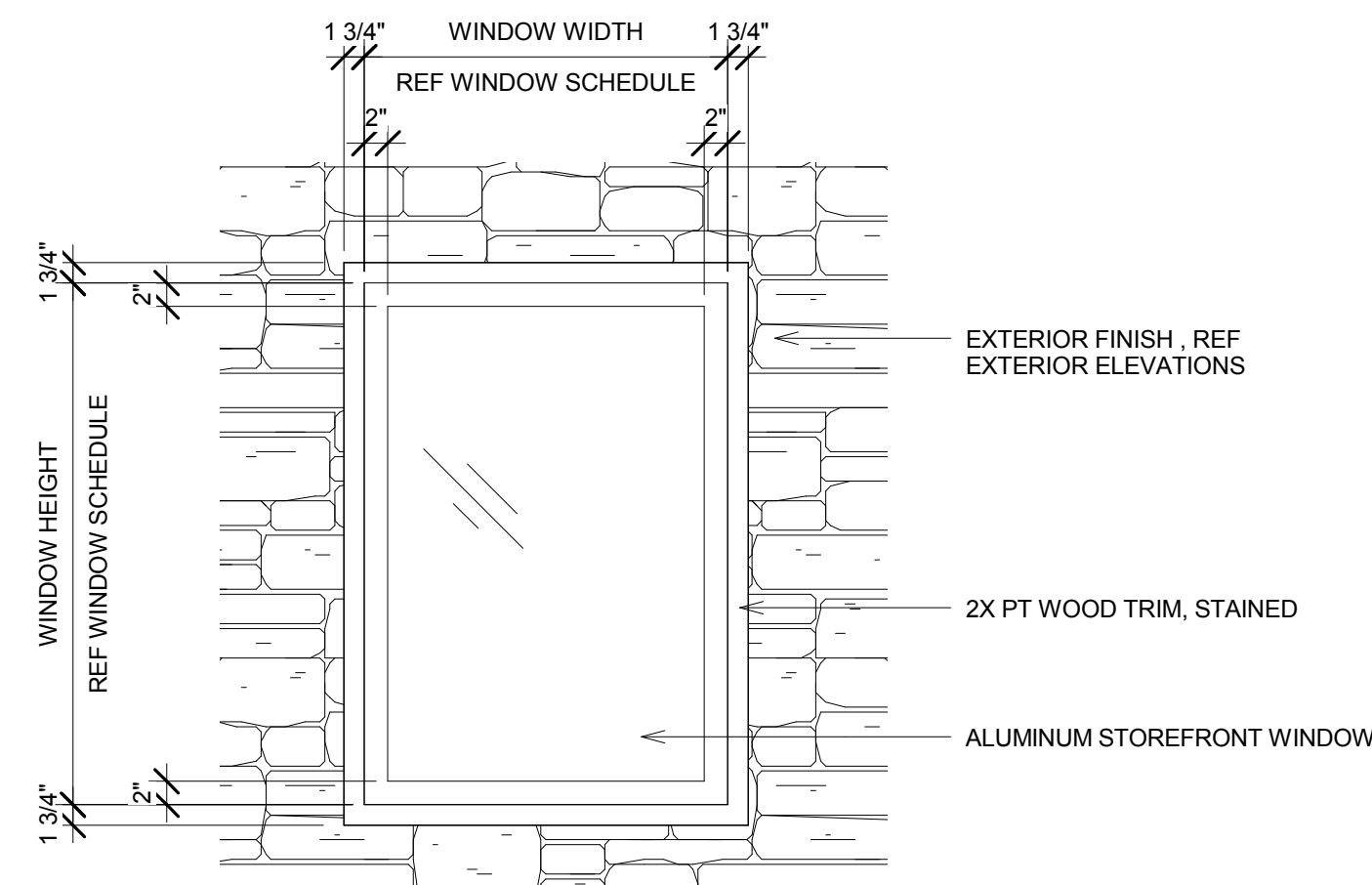
EXISTING TRASH ENCLOSURE ELEVATION
A5.01 / 1/2" = 1'-0"



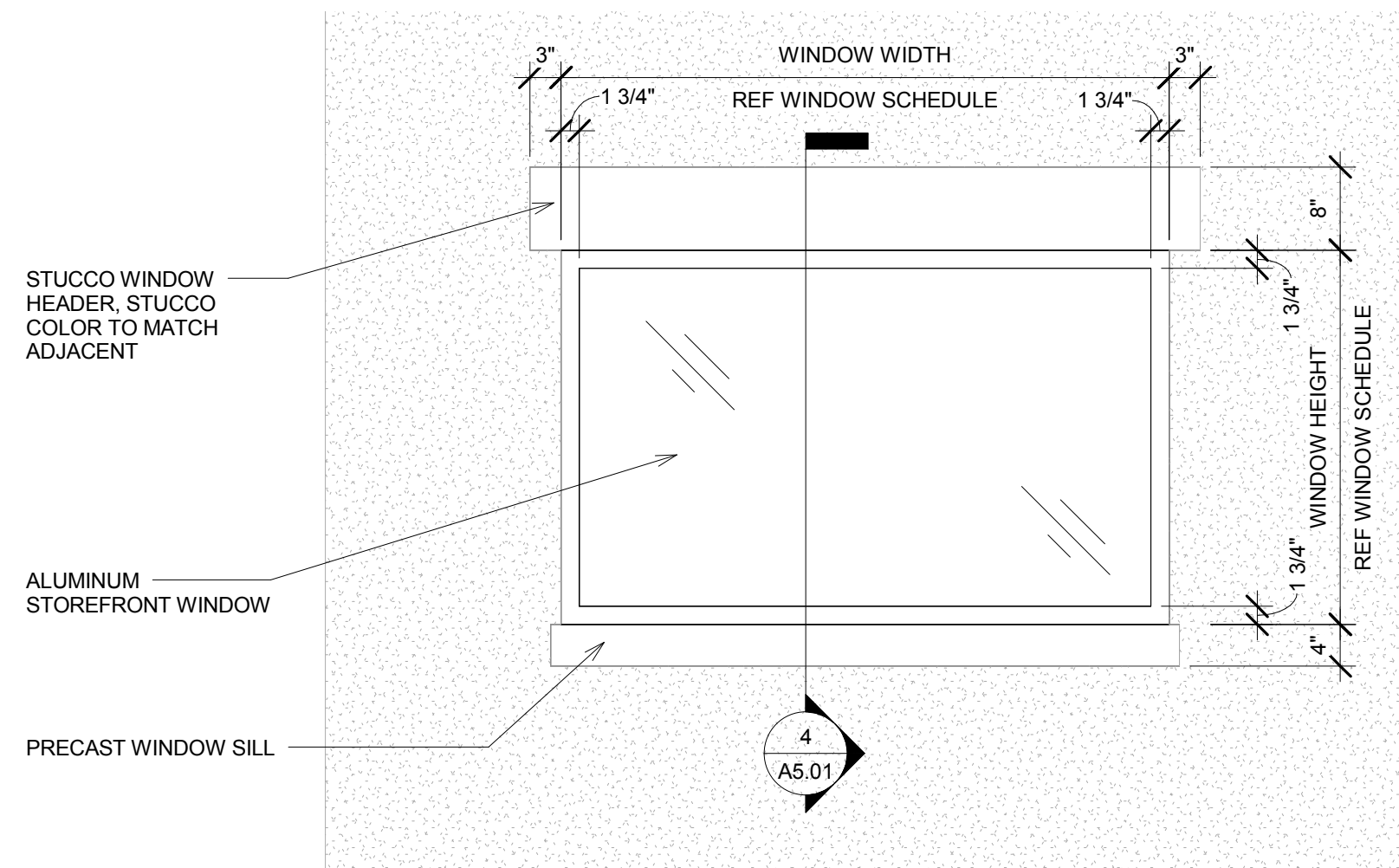
CONCRETE BASE DETAIL
A5.01 / 1 1/2" = 1'-0"



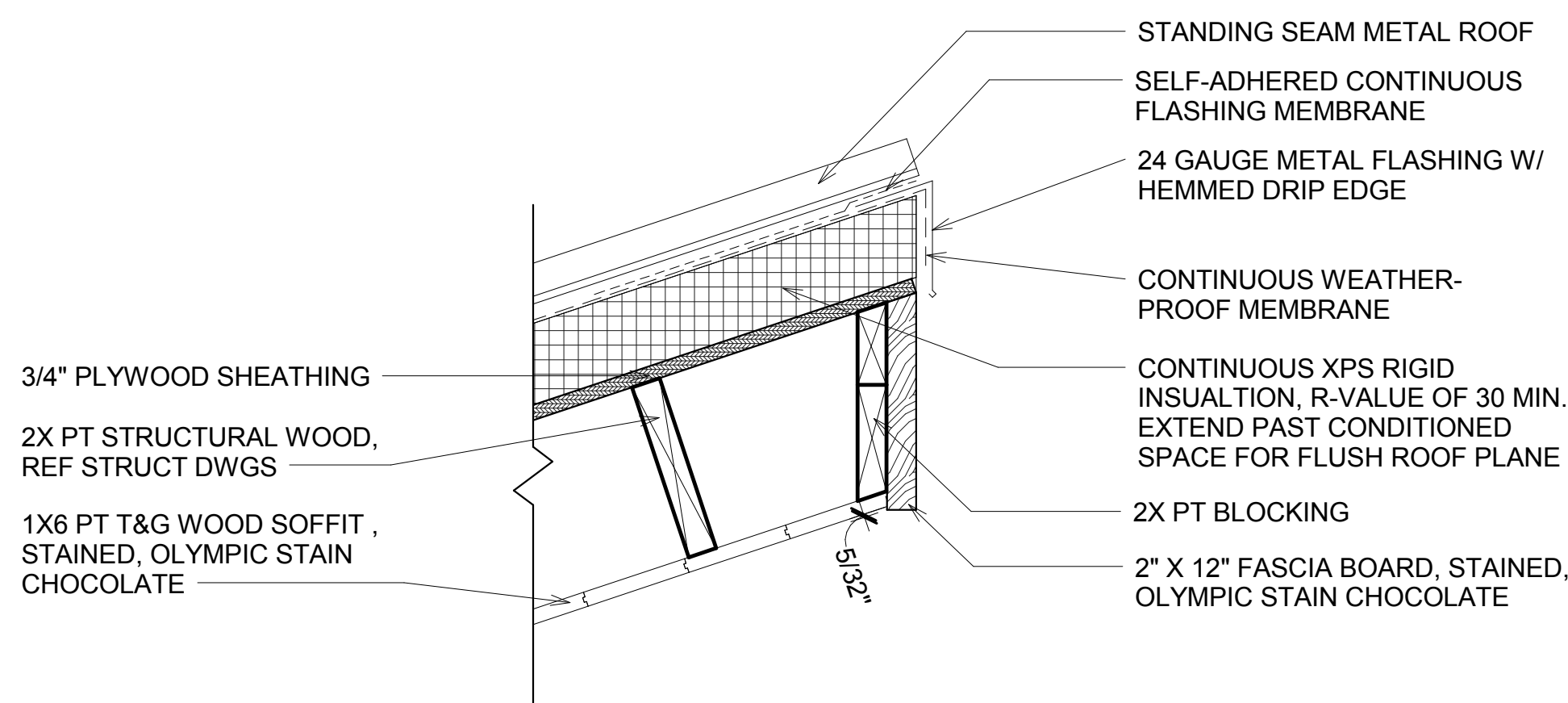
TYPICAL WINDOW TRIM SECTION IN STUCCO
A5.01 / 3/4" = 1'-0"



TYPICAL WINDOW TRIM IN STONE AND WOOD
A5.01 / 3/4" = 1'-0"

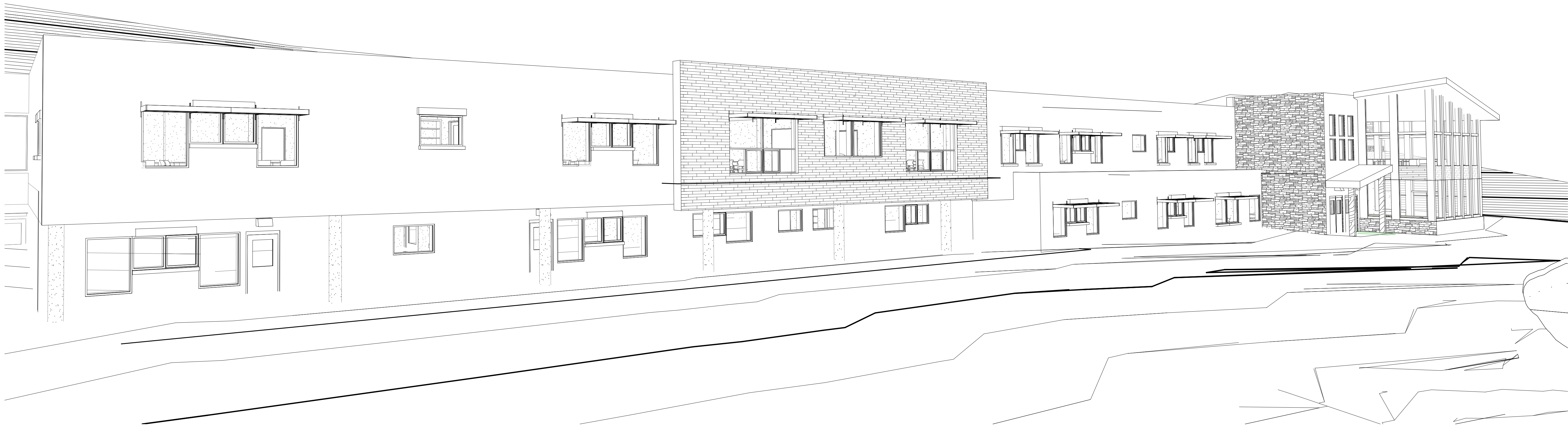


TYPICAL WINDOW TRIM IN STUCCO
A5.01 / 3/4" = 1'-0"



TYPICAL FASCIA DETAIL AT NEW STANDING SEAM ROOF
A5.01 / 1 1/2" = 1'-0"

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2 3D - RSES South Elevation Perspective 2



3 3D - RSES South Elevation Perspective 1

LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL
SOME NOTES MAY NOT APPLY TO THIS SHEET

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3D Images
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A10.01

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